



ULDC CHAPTER 4, Part **1**

Commission Special Meeting
September 5, 2023



CONTENTS

1

Update on Chapters 1-3 & Timeline

2

Chapter 4 Summary & Parts

3

Article Specifics & Major Changes

4

Next Steps

5

Questions & Comments

PROJECT UPDATES

1. Chapters 1-3 and Use Definitions Reviewed by the Legal Consultants
2. Chapters 2 and 3 need to be updated based on Legal Consultant and Commission Feedback
3. Use Definitions will also be updated based on Legal Consultant feedback
4. Chapter 4 has been split into 2 parts due to the length
 - Altered Timeline Slightly
 - Still anticipate Early 2024 Effective/Adoption Dates

Update

CHAPTER 4

SITE DEVELOPMENT

This chapter contains the engineering, design, and development standards for all development in the City.

- I. Purpose, Intent, and Applicability
- II. Rules of Measurement
- III. Buffers and Landscaping
- IV. Development Standards
- V. Fire Safety
- VI. Lighting
- VII. Marine Improvements
- VIII. Open Space
- IX. Parking and Loading



**IMPORTANT
INFORMATION**

Article II

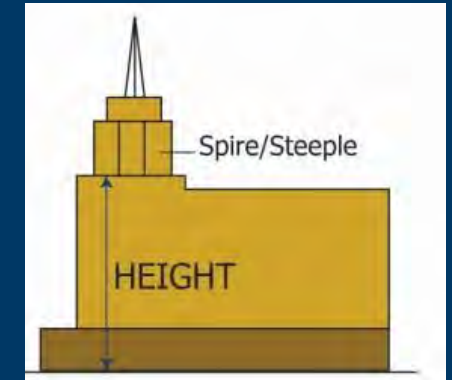
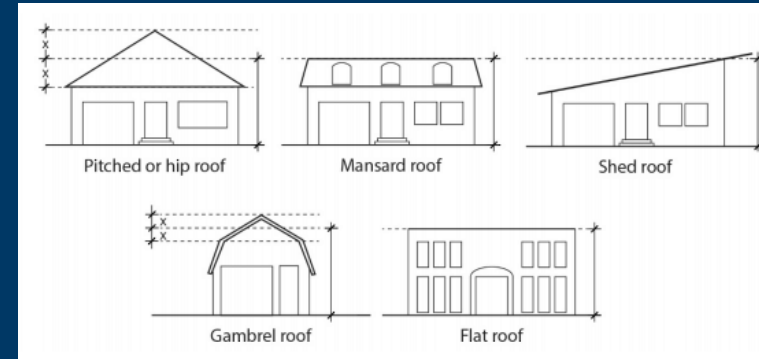
RULES OF MEASUREMENT

1. Building Height
2. Building Frontage
3. Residential Density & FAR
4. Lot Lines
5. Lot Measurements
6. Lot Types
7. Signs
8. Yards
9. Visibility Triangles

RULES OF MEASUREMENT

BUILDING HEIGHT

- A. The building height is the vertical distance of a building measured from the mean grade of the site to:
 - (1) The highest point of the roof surface of a flat roof;
 - (2) The deck line of a mansard or Bermuda roof; or
 - (3) The mean height of the eaves or the ridge of gable, hip, and gambrel roofs.
- B. When FEMA establishes a minimum floor elevation, the building height shall be measured from the minimum required floor elevations.
- C. The height measurement shall include structures located above the roof level of the building, such as penthouses or mechanical rooms.
- D. The height measurement shall not include spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, or other appurtenances required to be placed on the roof and not intended for human occupancy.

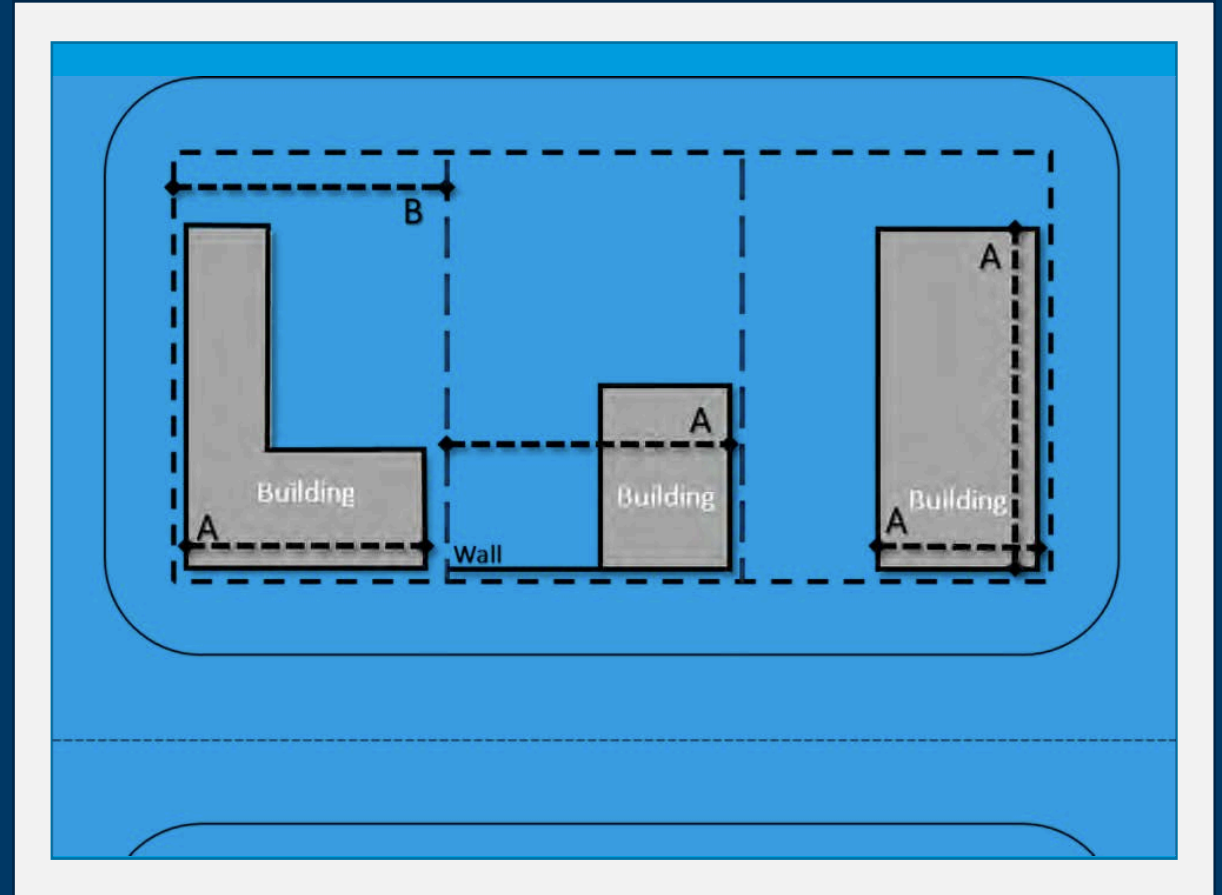


RULES OF MEASUREMENT

BUILDING FRONTAGE

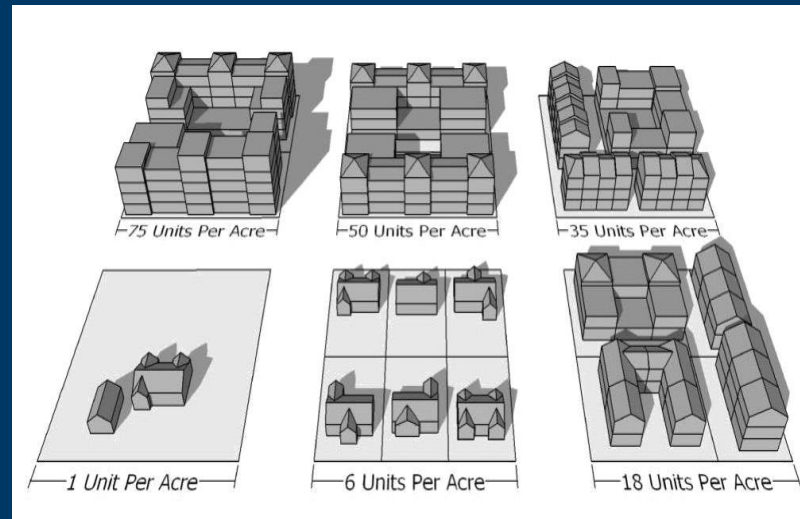
- Building frontage is the horizontal linear dimension of a building facade along a public or private road.
- Building frontage percentage is determined by dividing the building façade by the lot width and then multiplying that by 100.
- When a zoning district includes a minimum frontage requirement, the development shall maintain the minimum frontage requirements with the facades of the primary structure, a full or partial wall, or some combination thereof to ensure a uniform frontage line along the right-of-way(s).

$$\text{Building Frontage \%} = \frac{\text{Length of Building Façade (A)}}{\text{Length of the Lot Line (B)}} \times 100$$



RULES OF MEASUREMENT

BUILDING FRONTAGE



DENSITY

- Density is the number of dwelling units permitted per gross acre of land. Density is calculated by dividing the total acreage by the number of dwelling units the zoning district allows or requires per acre.
- Always rounded down.

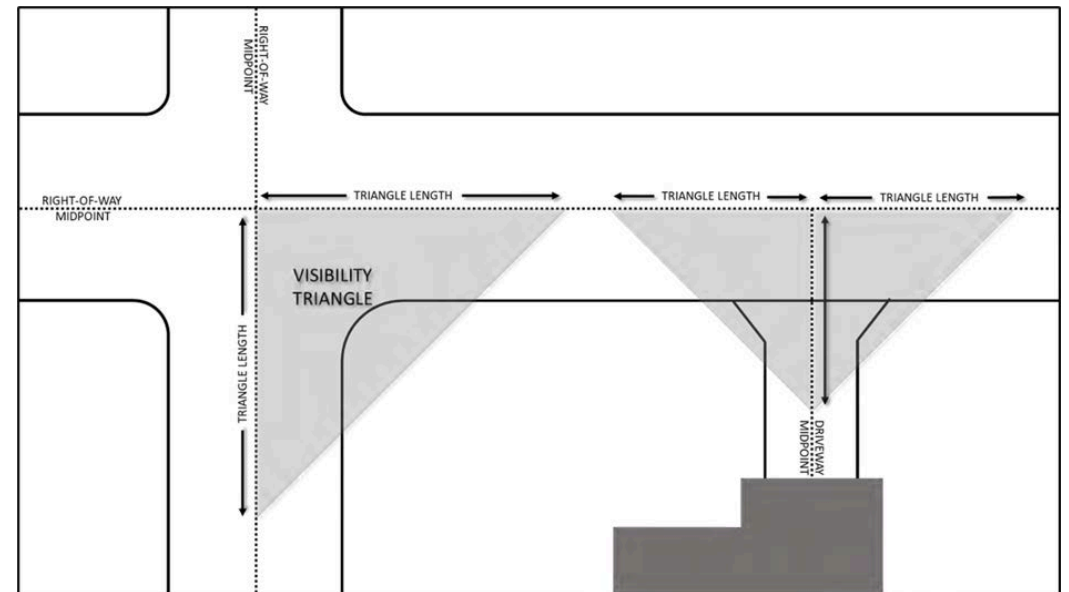
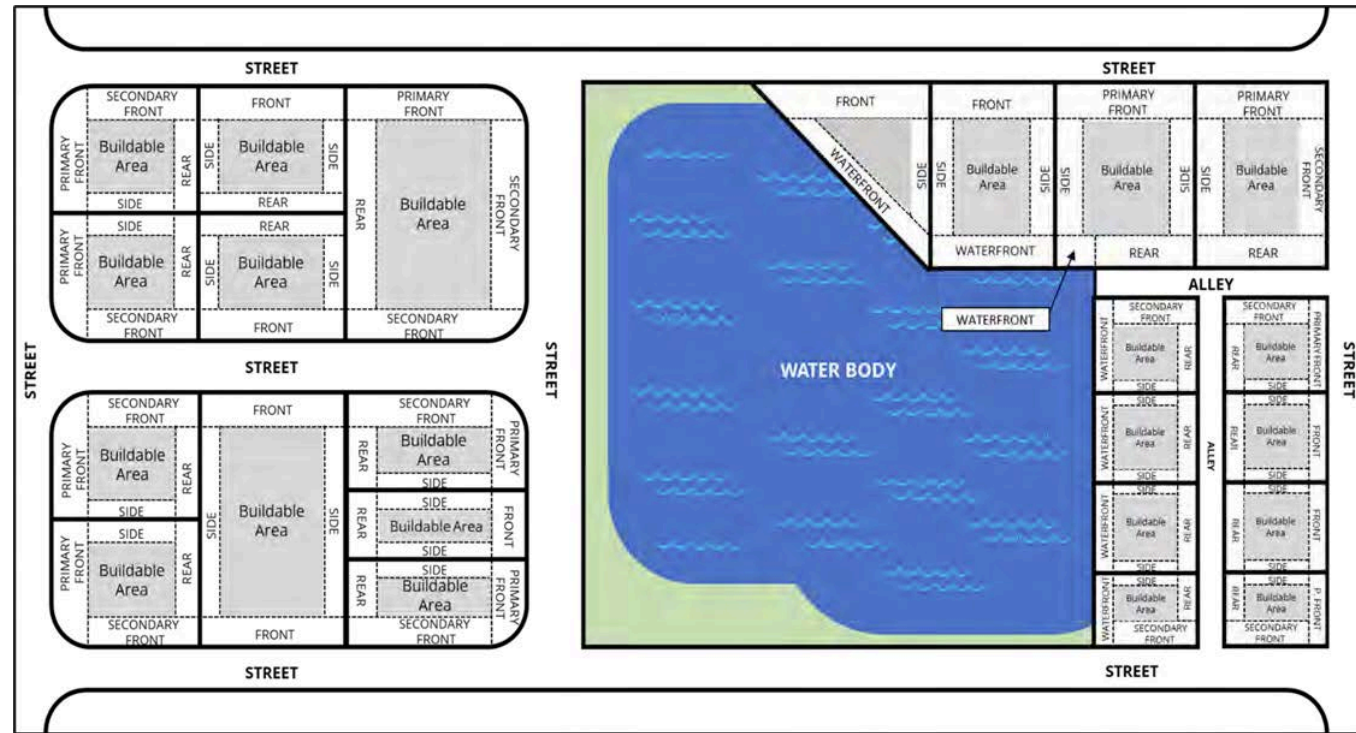
FLOOR AREA RATIO (FAR)

- FAR is calculated by dividing the total building area by the total area of the parcel and is typically measured in square feet.

RULES OF MEASUREMENT

THE OTHERS

4. Lot Lines
5. Lot Measurements
6. Lot Types
7. Sign Measurements
8. Yards
9. Visibility Triangles



ARTICLE III

BUFFERS AND LANDSCAPING

1. General Standards
2. Material Standards
3. Master Tree Lists
4. Prohibited Species
5. One- and Two-Family Requirements
6. Foundation Landscaping
7. Parking Area Landscaping
8. Mechanical Equipment
9. Fence and Wall
10. Street Trees
11. Buffers

NO OR MINOR CHANGES:

Master Tree List

- Added Street Tree List

Prohibited Species List

Landscaping for one- and two-Family Residences

- Added Tree Requirement
- Updated Lawns and Groundcover requirements for consistency with state law and best practices





BUFFERS AND LANDSCAPING

FOUNDATION PLANTING

Foundation landscaping shall be at least five (5) feet in width along the entire length of the building façade(s) visible from a right-of-way or other public area. The foundation landscaping shall consist of shrubs and at least one understory tree for every twenty (20) feet in length. Trees may be clustered.



BUFFERS AND LANDSCAPING

PARKING AREA LANDSCAPING

Five Aspects of Parking Area Landscaping:

1. Minimum Landscaped area
2. Perimeter Landscaping
3. Terminal Island Landscaping
4. Median Landscaping
5. Screening for Parking Abutting Residential Uses





Applies to: All parking areas visible from a street or public area

Requirements:

1. Five-foot landscaped strip with trees
2. A hedge, wall, or decorative fence at least three (3) feet in height and eighty (80) percent opaque
3. Pedestrian access points



BUFFERS AND LANDSCAPING

PARKING AREA – PERIMETER LANDSCAPING





Requirements:

- 10 by 18 ft curbed island with at least one canopy tree per 10 parking spaces
- Entire area of the island must be landscaped

How has it changed?

- Formalizes the requirement. The current standard is “Interspersed landscaped areas with parking spaces.”
- Reduces the separation from 15 spaces to 10
- Does not currently specify size

BUFFERS AND LANDSCAPING

PARKING AREA – TERMINAL AND INTERIOR ISLANDS

ENHANCED
STANDARD



Requirements:

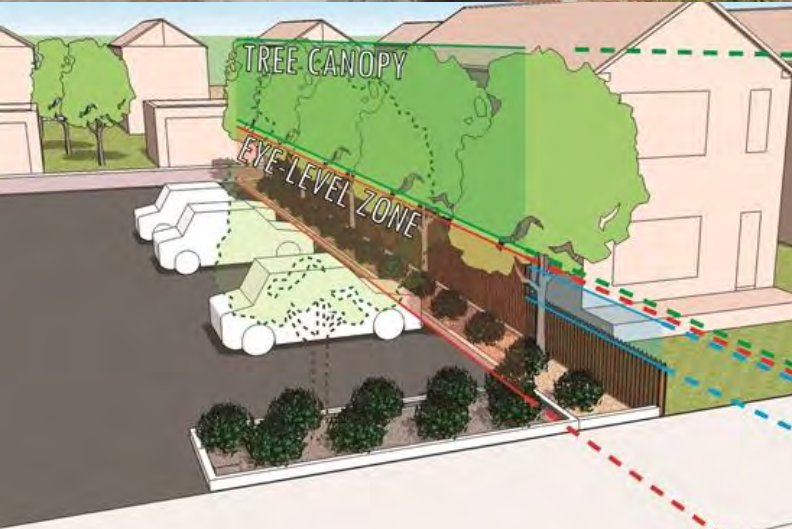
- Parking areas shall include 10-foot-wide landscaped medians in every other row of parking spaces.
- Paved pedestrian pathway incorporated into the median every 200ft; at least one aligned with the main entrance
- One canopy tree every 35ft
- Medians between parking areas and access drives require hedges

How has it changed?

- Currently required every 4 rows and only with a pedestrian walkway
- Does not currently require curbing

BUFFERS AND LANDSCAPING
PARKING AREA – MEDIAN LANDSCAPING

ENHANCED
STANDARD



Requirements:

- Opaque 4-ft wall or decorative fence for the entire length of the parking area
- 1 scrub per 3 feet, 1 understory tree per 25 ft
- No blank facades greater than 16 ft

BUFFERS AND LANDSCAPING

PARKING AREA – SCREENING ABUTTING RESIDENTIAL



BUFFERS AND LANDSCAPING



- Street Trees
- New tree list specific to street trees
- 1 tree per 50ft on private property between the sidewalk and the street

- Fence and Wall
- Minimum number of shrubs and trees
- No blank facades

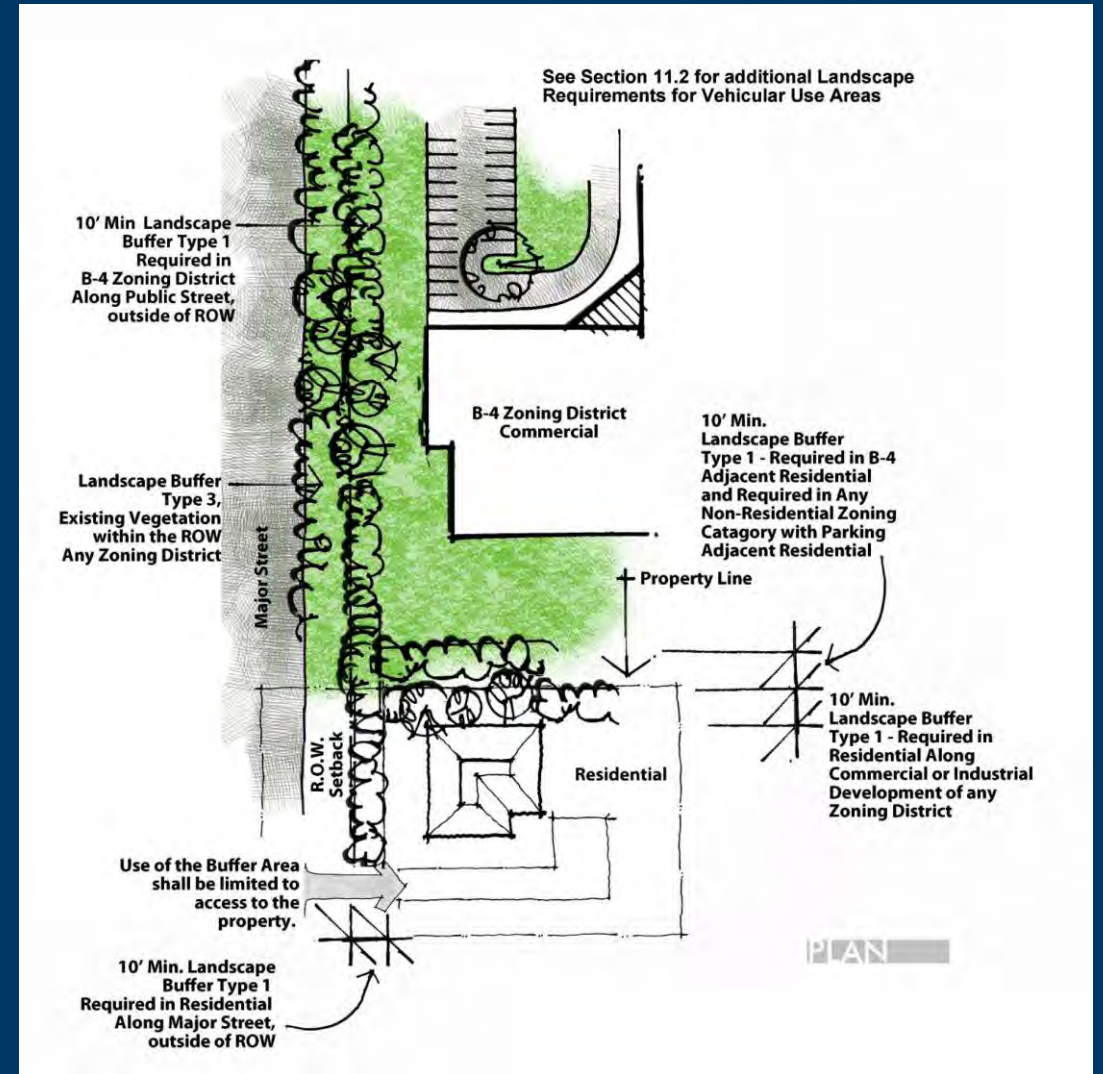
- Mechanical Equipment
- Landscaped with Hedges or Shrubs to shield from view



BUFFERS AND LANDSCAPING

BUFFERS

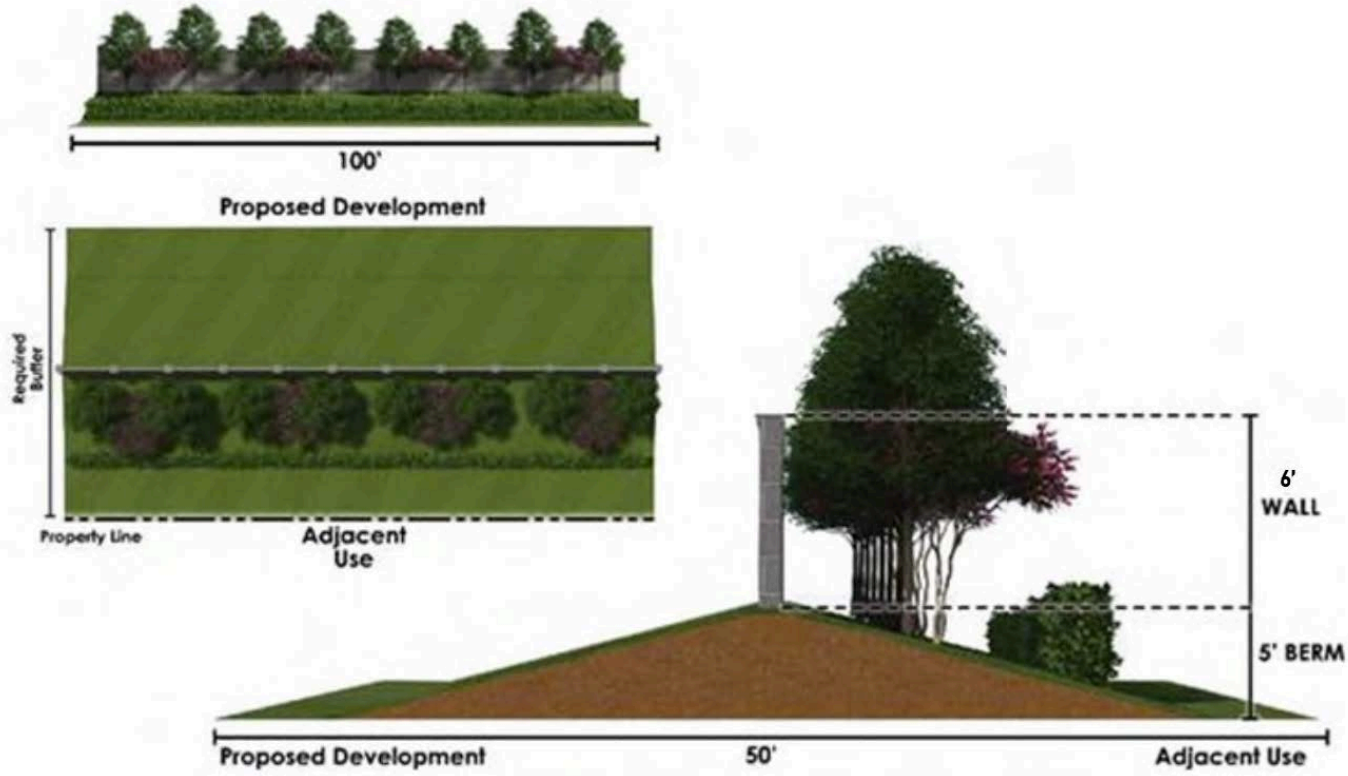
1. Buffer Types
2. Buffer Matrix



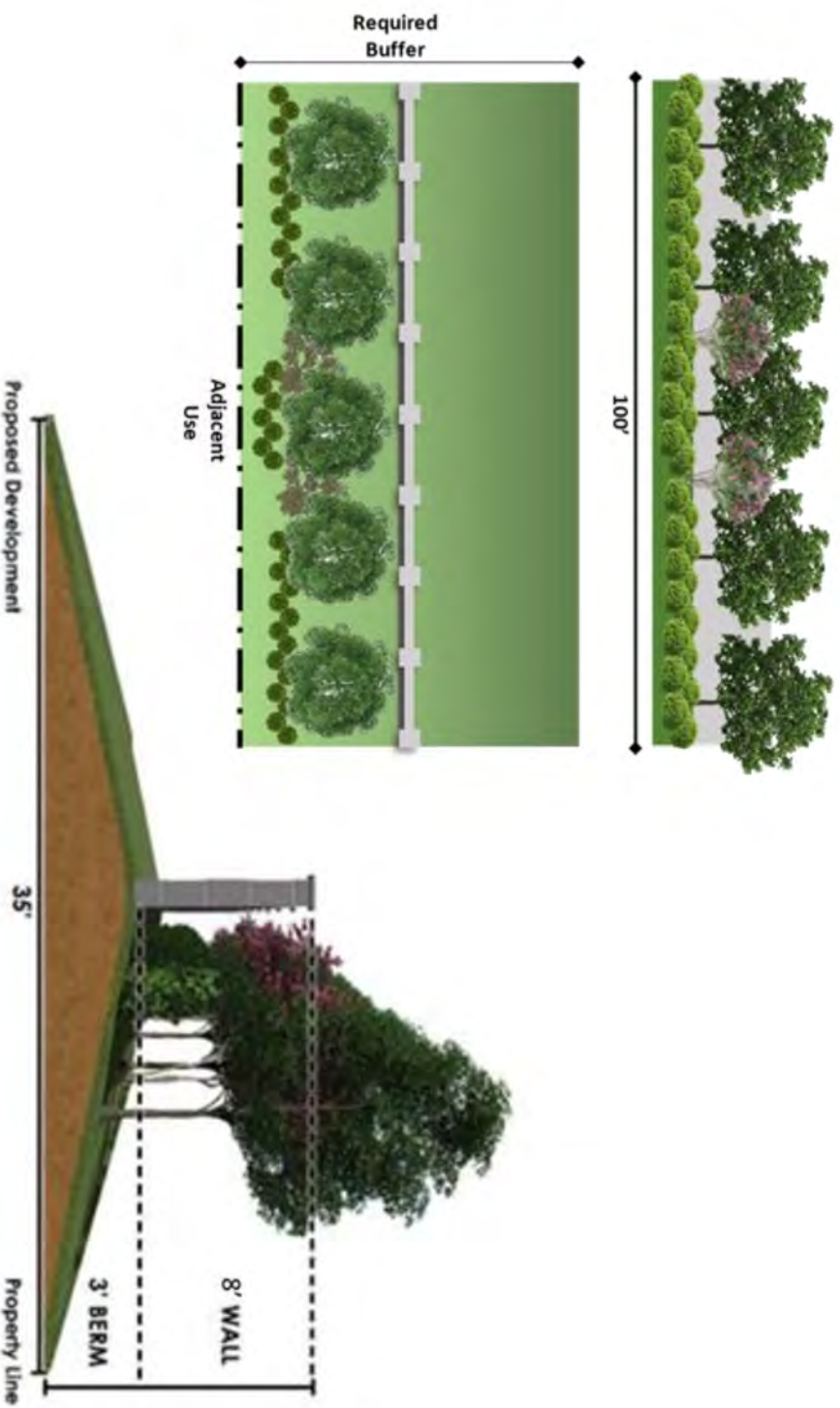
BUFFER TYPES AND COMPOSITION



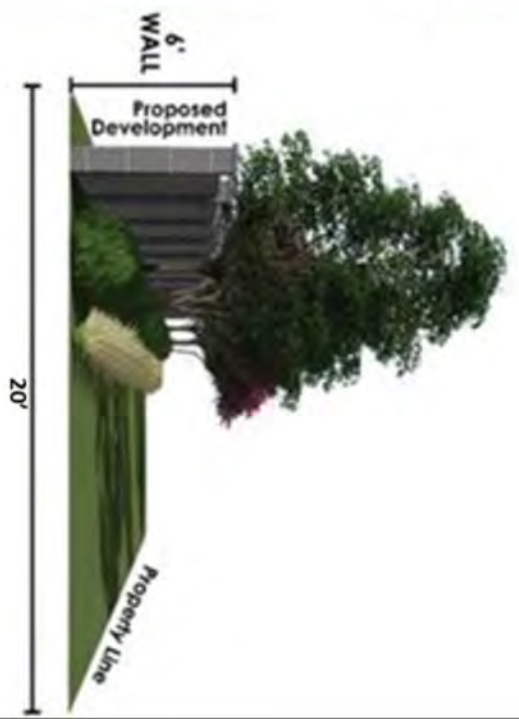
BUFFER TYPES	A	B	C	D	E
Names	Enhanced	Opaque	Semi-Opaque	Aesthetic	Basic
Minimum Width (FT)	50	35	20	15/10	10/5
Minimum Number of Canopy Trees	8	5	5	3	3
Minimum Number of Understory Trees	4	2	2	2	2
Minimum Shrubs	-	100	80	80	50
Hedge	Continuous	Continuous	-	-	-
Minimum Fence (FT)	-	8	6	0/4	0/4
Minimum Wall (FT)	6	6	-	-	-
Minimum Berm (FT) ¹	5	3	-	-	-



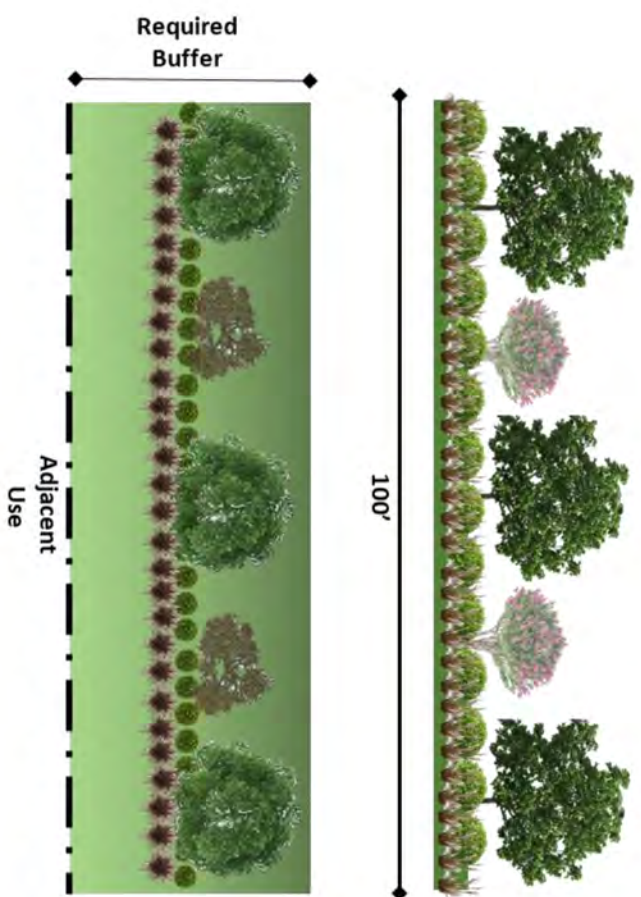
TYPE A



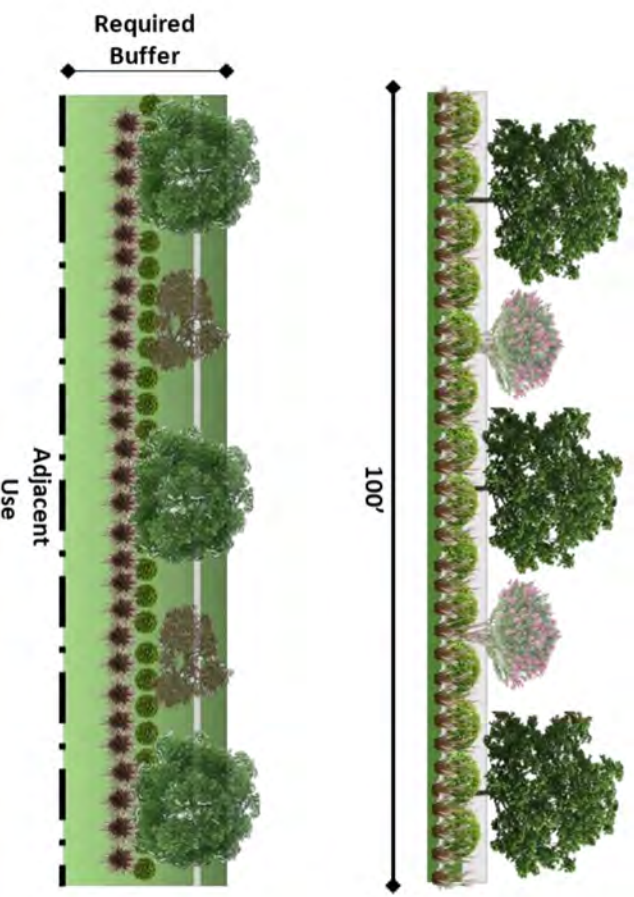
TYPE B



FLYRBE ©



OR



FLYRBE





OR



TYPE E

BUFFER MATRIX

NEW	EXISTING														
	AG	R-1	R-2	R-3	MH	EC	C	GU	I-1	I-2	MX-1	MX-2	AC	V	ROW
AG	-	E	D	D	D	E	C	C	C	B	C	B	B	B	E
R-1	E	-	E	D	C	E	C	C	C	B	C	C	C	C	-
R-2	C	D	-	D	D	D	C	D	C	B	C	C	C	C	-
R-3	B	B	C	E	C	B	E	D	D	C	D	E	D	D	D
MH	C	C	C	C	E	C	B	C	C	B	C	C	B	B	C
EC	E	E	D	C	C	-	C	D	C	B	C	B	B	B	E
C	B	B	C	D	C	B	E	D	D	C	C	D	D	C	D
GU	C	C	C	D	D	D	E	E	D	C	C	D	D	D	E
I-1	B	B	B	B	B	A	C	C	E	C	B	C	C	C	D
I-2	A	A	A	B	B	A	B	B	D	E	B	B	B	B	C
MX-1	C	D	D	D	D	C	D	D	C	B	-	D	D	D	E
MX-2	A	A	B	D	B	B	D	D	C	C	D	-	D	D	-
AC	A	A	B	C	B	B	D	D	D	D	B	C	E	C	-
V	A	B	B	C	B	B	C	D	C	C	B	C	C	E	B

ARTICLE IV

DEVELOPMENT STANDARDS



Single- and Two-Family
Development



Activity Centers



Multi-Family & Non-Residential

Single- and Two-Family Development

- Applies to all single-family, single-family attached, or two-family development
- Sets standards for:
 - One, full-size residence per parcel in R-1
 - Connection to water/sewer when available
 - Driveway length and size
 - Shielding:
 - Trash Can Storage
 - Mechanical Equipment
 - Fuel Storage Tanks
 - Garages
 - Minimum Size
 - Prohibits Carports as Sole Vehicle Storage Space



Activity Centers

- Blueway Connections
- Building Height Step-backs
- Enhanced Design Standards for Corner Lots
- Community Amenities
- Pedestrian-Oriented Entrances
- Glazing
- Buried Utilities



**ENHANCED
STANDARD**



Multi-family, Non-residential, and Mixed-Use

• **Building height transitions** -- New buildings that are more than twice the height of any existing building within 300 feet shall be designed to provide a transition between buildings of lower height.

• **Enhanced Corner-Lot Design**

• **Standards for Dumpster Enclosures**

• **Emphasized Entrances**

• **Equipment Shielding**

• **Minimum glazing**

• **Roof Design/Treatment**

• **Wall facade requirements**

• **Fenestration**

• **Architectural features**

ARTICLE V

FIRE SAFETY

There is no change to this section EXCEPT to pull all the non-development standards out.

1

Fire Hydrants

2

Fire Rescue Access During Construction

3

Roadways, Parking lots, and Driveways

4

Fire Lands and Fire Department Accessibility to Buildings

ARTICLE VI

LIGHTING

1. Footcandle Standards
2. Fixture Requirements
3. Time Control & Motion Sensors
4. Light Sensors
5. Design
 - Parking Lots
 - Street Lights
 - Walkways, Bikeways, and Trails
 - Canopied Areas
 - Outdoor Automobile Dealerships
 - Fire Lands and Driveways
 - Awnings
 - Parking Garages



ARTICLE VII

MARINE IMPROVEMENTS

Only minor changes from Current ULDC

1

Permitting

2

Requirements

3

**Mooring of Vessels on or
Adjacent to Private Property**

4

**Abandoned, Disabled, or
Removal of Vessels**

ARTICLE VIII

OPEN SPACE

1

Open Space Requirements

2

Areas that Count Toward Open Space Requirements

3

Ownership, Maintenance, and Management

ARTICLE IX

PARKING AND LOADING

1

Dimensional Standards

2

Off-Street Vehicular Parking

3

On-Street Parking

4

Bicycle Parking

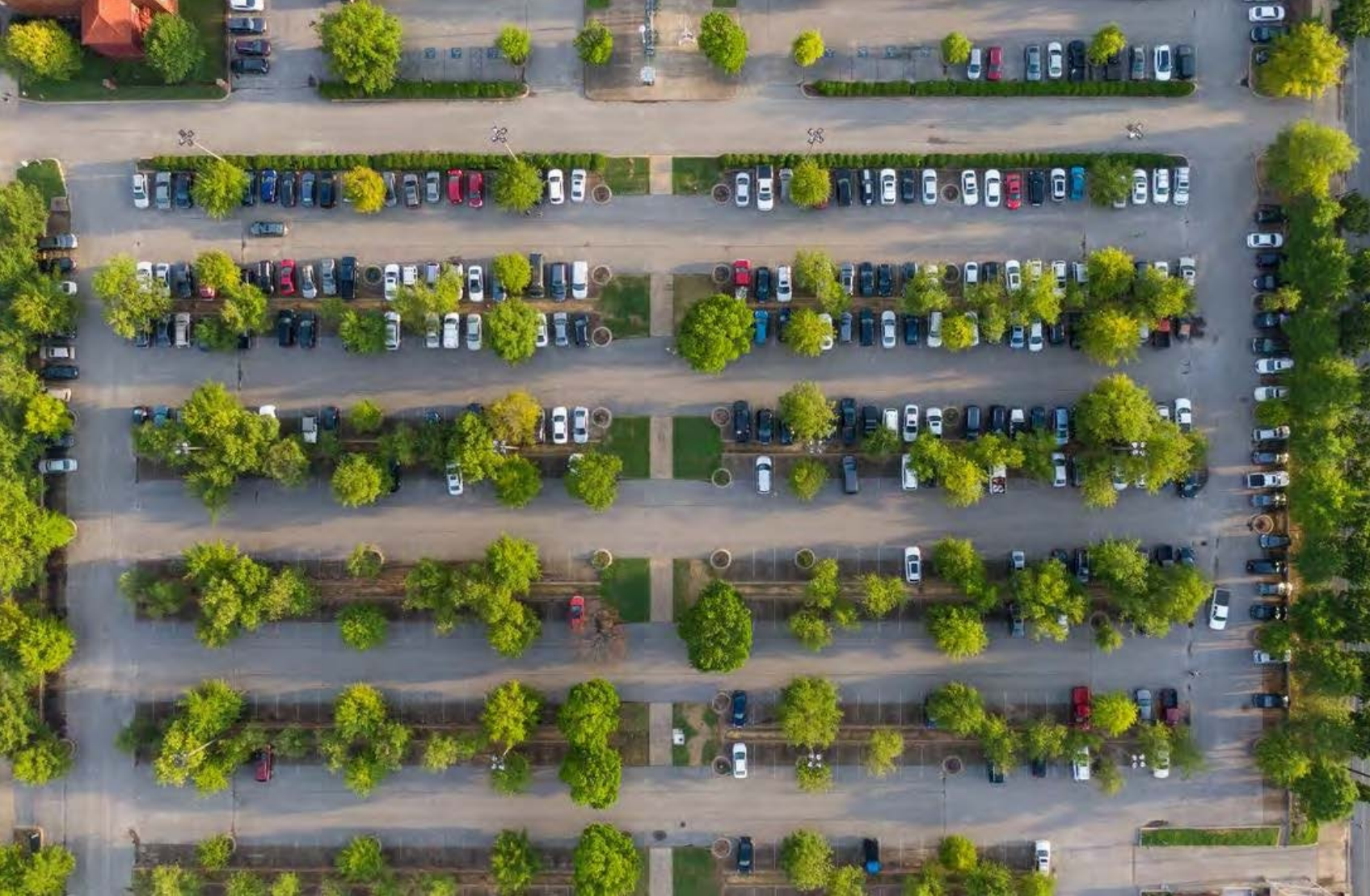
5

Vehicle Stacking

6

Loading Areas

**ENHANCED
STANDARD**



Requirements:

- Standard space – 10' by 20'
- Compact – 8' by 16'
- Parallel Space – 22' by 9'
- Aisle Width

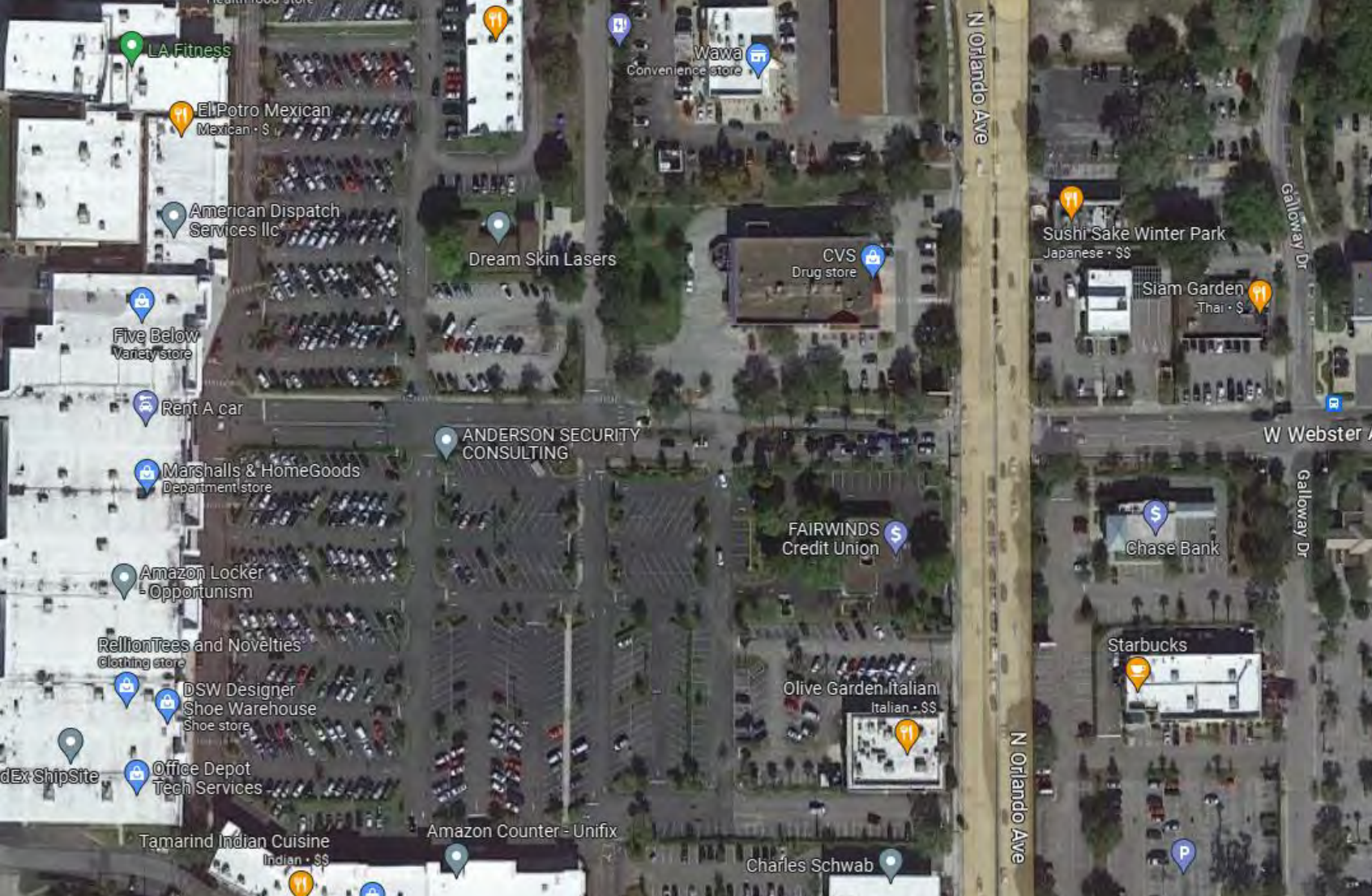
PARKING ANGLE	REQUIRED AISLE WIDTH (FT)	
	ONE- WAY	TWO- WAY
Parallel	12	24
30°	12	24
45°	12	24
60°	18	24
90°	22	24

How has it changed?

- Increases parking space size to 10' by 20'
- Adds compact and low-speed vehicle parking stall size

PARKING AND LOADING
Dimensional Standards

ENHANCED
STANDARD



Requirements:

- Must connect to adjacent properties
- Pedestrian connections

How has it changed?

- Sets a maximum parking allowance
- New parking standards by use
- Large Parking Lot Standards
- EV Charging Stations
- Parking Reduction allowances

PARKING AND LOADING
OFF-STREET PARKING STANDARDS

**ENHANCED
STANDARD**



Requirements:

- Formalizes bicycle parking area, including minimum space requirement and lighting
- Sets minimum vehicle stacking requirements, including stacking for parking lot entrances
- Sets minimum loading berths and sizes depending on the use

How has it changed?

- These are not currently required everywhere in the city and are not definable standards.

PARKING AND LOADING
OTHERS

ENHANCED
STANDARD



QUESTIONS AND COMMENTS