

*URBAN DESIGN STANDARDS  
PATTERN BOOK*



*CITY OF  
NORTHPORT*



*Planning, Zoning &  
Engineering  
Department*

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# *Urban Design Standards Pattern Book*

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# *Introduction*

*M*ore than a place to access an ATM, buy stamps or stop for lunch - commercial centers, including activity centers and neighborhood commercial centers, represent gathering spots for the people to conduct their local business, are desirable places of employment and are the heart of communities. Well-designed and integrated sites, connected by a common pedestrian and vehicular (cars, bicycles, golf carts, etc.) infrastructure, strengthen the connections between commerce and residential development. A roadway should include pedestrian facilities, mass transit facilities, focal points to serve as gathering areas, and designed to be pedestrian friendly. These linkages begin to form an amenity system typically found in high-quality urban areas.

As the City of North Port transitions from undeveloped to developed, suburban to urban, it must address standards for urban amenities to ensure that, when complete, a well-coordinated and human scale system is in place. Well designed areas benefit the social and economic sustainability of the City.

## *Purpose and Intent*

The purpose of these standards is to establish general and specific design standards that promote a functional and aesthetically-pleasing built environment which will foster private sector development.

The intent is to provide quality standards that reflect the City's vision with options to allow the private sector enough design flexibility to meet site needs, while expressly stating the City's desired outcomes.

## *Applicability*

The standards in this pattern book are supplemental to other adopted local, state and federal requirements. All standards in the City's Unified Land Development Code (ULDC), engineering and building regulations shall be met. In the case of conflict, provisions for health, safety and welfare shall be the higher standard. Petitioners seeking an interpretation of these standards regarding the intent, applicability or need, shall make a written request to the City Manager or designee. Interpretation appeals shall be made to the appropriate department through an administrative process.

These standards will apply to all Activity Centers in the City of North Port, and all future Activity Centers. Additionally, these standards will apply to all areas designated as neighborhood commercial. All other non-residential areas shall be subject to the urban infrastructure amenities through Development Orders for Developments of Regional Impact and/or applicable Village District Pattern Plans.

## *Process*

To promote well-coordinated and planned activity centers, site design and architectural style requirements shall be an additional required component of any City adopted Development Concept Plan (DCP)/Development Master Plan (DMP), Subdivision plan or Major Site plan for a proposed development. The process for filing these applications is found in the City's Unified Land Development Code (ULDC). In addition to specific site requirements, development plans shall provide an overall plan for streets/streetscaping, public space, signage, focal points, etc.

## *Components and Requirements Summary*

**F**or the purpose of creating well-coordinated areas, specific design styles and guidelines have been established for each Activity Center or Neighborhood Commercial area. Design components include architectural style, public art, street furniture, street lighting, clock towers, water features, pavement treatment, street trees, trash receptacles, buried utilities, transit shelters, walking/fitness paths, water fountains, bike racks, pavilions/gazebos, smoking urns and planters. Color schemes are established for public and private urban amenities. Rear of buildings shall be enhanced with landscaping and fascade treatment to improve visual impact. Properties located along waterways shall design the site to utilize the waterway and grant public access along the length of the waterway.

To aid users of this pattern book, the tables on the following pages summarize the requirements for each Activity Center and Neighborhood Commercial area. Where possible, photos have been provided for visual reference throughout the document to aid in clarifying the design requirements.

*Please note that these design standards are in conjunction with current regulations and there may be additional requirements for land development found in the City's Unified Land Development Code (ULDC) or any applicable pattern book.*

# Style and Design

CHART #1

Name	General Location	Architectural Style (1)
Activity Center #1/Mediterranea	US 41	Mediterranean Revival
Activity Center #2/Heron Creek	Sumter & Price	NW, SW & SE quads: Consistent with adopted Heron Creek Pattern Book (Mediterranean) NE quad: Key West
Activity Center #3/Gateway	Sumter & I-75	North Port Neoportian
Activity Center #4/Panacea	Toledo Blade & I-75	NE & NW quad I-75 & Toledo Blade/Southern Small Town SE quads: Spanish Mediterranean SW quad: Industrial
Activity Center #5/Midway	Toledo Blade & Price	All 4 quads: Mediterranean Revival.
Activity Center #6/The Shire	Yorkshire & I-75	Industrial: Contemporary Residential: Colonial Revival
Activity Center #7/The Springs	Golden Springs	Florida Cracker
Activity Center #8/The Gardens	River Road	Neoclassical, (park setting)
Activity Center #9/Central Parc	Greenwood Avenue	Mediterranean (Mixed Use Development Areas)
All Activity Centers		Clock Towers: Locate within public R-O-W on arterial and collector streets. Fountains: to be located in a public space incorporated into the design.
Neighborhood Commercial/High	Throughout City	Residential scale & blend with nearest Activity Center
Neighborhood Commercial/Low	Throughout City	Residential scale & blend with nearest Activity Center

(1) See Activity Center section for Architectural style examples.

# Style and Design

CHART #2

## Colors <sup>(1)</sup>

Name	General Location	Private Color	Public Color
Activity Center #1/Mediterranea	US 41	Terra Cotta (Pantone 1605C)	North Port City Center Green <sup>(2)</sup>
Activity Center #2/Heron Creek	Sumter & Price	North Port City Center Green (Pantone 567C)	North Port City Center Green
Activity Center #3/Gateway	Sumter & I-75	Deep Teal (Pantone 322C)	North Port City Center Green
Activity Center #4/Panacea	Toledo Blade & I-75	Brown (Pantone 4715C)	North Port City Center Green
Activity Center #5/Midway	Toledo Blade & Price	Deep Red (Pantone 201C)	North Port City Center Green
Activity Center #6/The Shire	Raintree (future)	Dark Medium Blue (Pantone 288C)	North Port City Center Green
Activity Center #7 <sup>(1)</sup> /The Springs	Golden Springs	Deep Golden Yellow (Panton 7407C)	North Port City Center Green
Activity Center #8/The Gardens	River Road	Black/White	North Port City Center Green
Activity Center #9/Central Parc	Greenwood Avenue	Terra Cotta (Pantone 1605 C) (Mixed Use Development Areas)	North Port City Center Green
All Activity Centers		N/A	All metal clock towers (black, white or Private Activity Center color)
Neighborhood Commercial/High	Throughout City	AC located closest	North Port City Center Green
Neighborhood Commercial/Low	Throughout City	AC located closest	North Port City Center Green

(1) All colors shall be on the dark end of the spectrum and shall be approved by the City. Bright, florescent or neon colors are prohibited.

(2) North Port City Center Green is Pantone 567C.

## Site Amenities, Part I

Commercial Center Designation/Name	Street Furniture (1)	Lighting	Brick Paving (2)	Street Trees (3)	Canals (4)	Buried Utilities (On-site)	Public Art
Activity Center #1/Mediterranea	Y	Y	Y	Y	Y	Y	Y
Activity Center #2/Heron Creek	Y	Y	Y	Y	Y	Y	Y
Activity Center #3/Gateway	Y	Y	Y	Y	Y	Y	Y
Activity Center #4/Panacea	Y	Y	Y	Y	Y	Y	Y
Activity Center #5/Midway	Y	Y	Y	Y	Y	Y	Y
Activity Center #6/The Shire	Y	Y	Y	Y	Y	Y	Y
Activity Center #7/The Springs	Y	Y	Y	Y	Y	Y	Y
Activity Center #8/The Gardens	Y	Y	Y	Y	Y	Y	Y
Activity Center #9/Central Parc	Y	Y	Y	Y	Y	Y	Y
Neighborhood Commercial/High	Y	Y	Y	Y	Y	Y	N
Neighborhood Commercial/Low	Y	Y	N	Y	N	Y	N

- (1) Street furniture to include: benches, planters, bollards, smoking urns, trash and recycling receptacles, water fountains (pet friendly) and clock towers.  
 (2) All pedestrian crosswalks, sidewalks and ADA curb cuts shall be in the design specified for each Activity Center. Stamped concrete may be used in lieu of brick pavers, subject to City approval.  
 (3) Consistent with the Unified Land Development Code, Chapter 21 & 45.  
 (4) Canal treatments (Blueway Commons) shall be applicable to Activity Centers only. Future Activity Centers or lands rezoned to Planned Community Development (PCD) that include major canals will be required to include the design standards outlined in this document.

# Style and Design

## Site Amenities, Part II

CHART #4

Commercial Center Designation/Name	Walking/Fitness Path along Blueway (w/Pet-Friendly Water Fountain) (1)	Gazebo/Pavilion	Bike Racks	Clock Tower	Wet Stormwater w/ Fountain & lighting (2)	Transit Shelters (3)
Activity Center #1/Mediterranea	Y	Y	Y	Y	Y	Y
Activity Center #2/Heron Creek	Y	Y	Y	Y	Y	Y
Activity Center #3/Gateway	Y	Y	Y	Y	Y	Y
Activity Center #4/Panacea	Y	Y	Y	Y	Y	Y
Activity Center #5/Midway	Y	Y	Y	Y	Y	Y
Activity Center #6/The Shire	Y	Y	Y	Y	Y	Y
Activity Center #7/The Springs	Y	Y	Y	Y	Y	Y
Activity Center #8/The Gardens	Y	Y	Y	Y	Y	Y
Activity Center #9/Central Parc	Y	Y	Y	Y	Y	Y
Neighborhood Commercial/High	Case by Case	Case by Case	Y	N	Case by Case	Y
Neighborhood Commercial/Low	N	N	Y	N	N	Y

(1) All walking/fitness trails shall be of a City approved surface.

(2) If wet ponds are located in the front or side of buildings, they shall include a fountain, waterfall or similar aeration device with accent lighting and used as a pedestrian amenity. Retention is required for signature locations, and when stormwater requirements exceed thresholds established in the Unified Land Development Code. Pump size and spray pattern to be determined based on individual site design. Stormwater systems may be located underground with a plan approved by the City's Planning, Zoning and Engineering Department.

(3) All transit shelters shall be North Port City Center Green.



# Site design

The purpose of the design standards and guidelines is to create a high-quality built environment, resulting in a sense of place. To achieve higher economic vitality and raise overall quality of life, minimum standards for site and building design must be incorporated. The following standards and guidelines apply to all principal uses whether on parent parcels or out-parcels and free-standing ancillary or secondary uses, such as kiosks, ticket booths, etc. Each project shall be developed as a single, unified and integrated development using the following criteria:



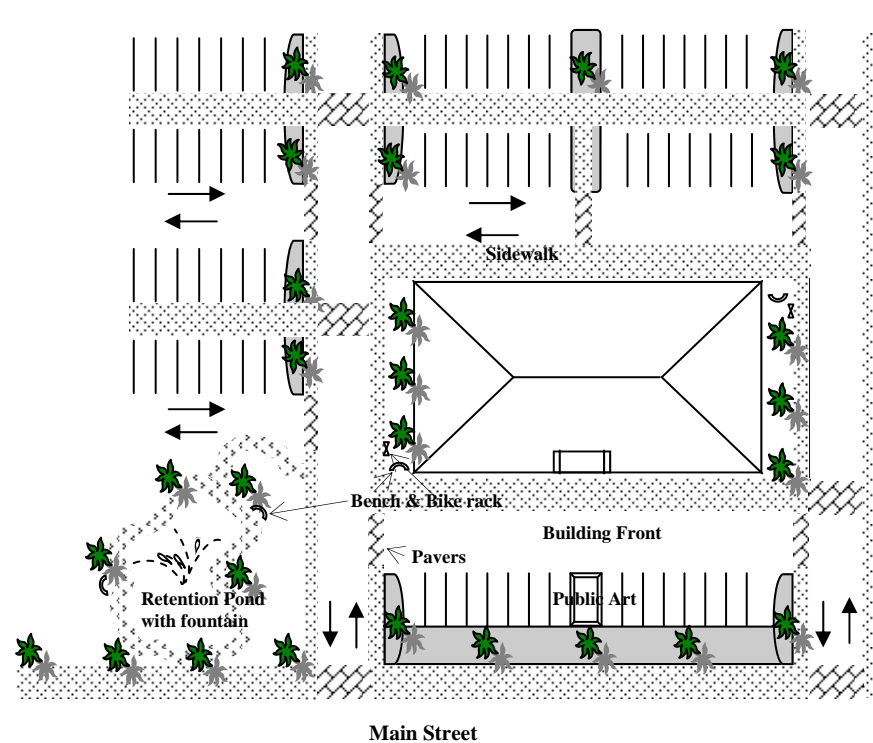
*Site design shall result in functional and visual harmony.*

- Building location and massing shall emphasize pedestrian scale.
  - Architectural features shall emphasize a human scale relationship
  - Site plans shall address pedestrian circulation.
  - The architectural style shall be such that it supports a unified design and an approach that fully integrates design criteria.
  - The exterior walls of a building shall be articulated with a consistent style and use of materials on all sides. Exposed split-face block shall not be permitted, unless specifically permitted with the design submittal.
  - Awnings and balconies should be architecturally distinctive across the building/or a series of buildings in terms of height, size, materials, and color.
  - Buildings shall be developed with 50% of cost of building being dedicated for green building standards. The site shall be developed to achieve 100% Low Impact Development (LID) or to the highest percentage possible.
- 
- To the extent possible, the primary entry of first floor business establishments shall be visible and accessible directly from external/internal roadways. Primary facades shall be parallel to the street right-of-way. Where an angled building is conducive to the development of a 100% green site, the building shall be permitted to be placed at an angle to the external/internal roadways, but the main entry shall be positioned in a manner for direct pedestrian access to the primary roadway.
  - Rear entrances shall be utilized to provide closer walking distances from rear and side parking areas. These entrances shall be enhanced to match the architectural style of the front entrance.
  - No more than fifty (50) percent of the principal main street frontage shall be a blank wall. No blank wall shall exceed 20 linear feet without being interrupted by a window, balcony, entry or other building articulation.
  - To create an urban environment, multi-story buildings are encouraged.
  - Reflective glass will not be permitted on the first floor of any building, to help prevent glare to vehicular traffic.

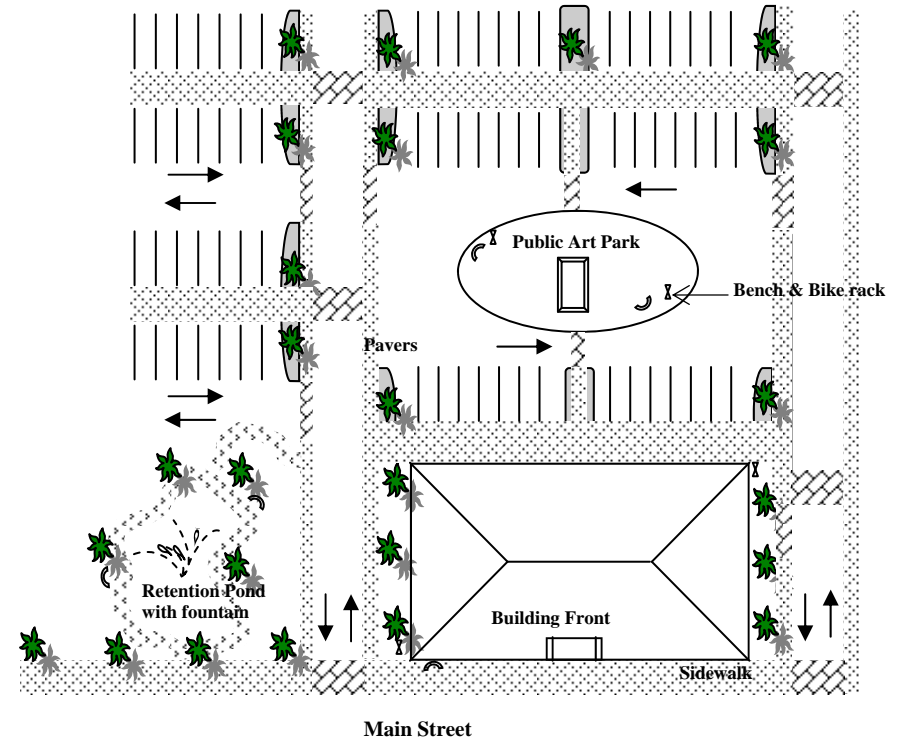
# Site design

To promote the site connectivity and a “main street” feel, a maximum of one row of parking or a zero lot line will be allowed at building front, which shall orient toward the street. A site example is provided below.

Site design will ensure that organization and lay-out are oriented to follow new urbanism, smart growth and green building principles. A “main street” style is the desired outcome. The “main street” style should include clear focal points for the commercial centers in the form of a square, plaza or courtyard environment with public amenities such as benches, monuments, kiosks/gazebos, clock towers.



One row of parking



Zero lot line

## *Site design*

Structure placement should reinforce the “main street” appearance through its location and the proximity of the terminus of the main street or directly fronting on the primary street. All parking, public and private, should be located to the rear, side, or internal to the development. When located adjacent to a side street, the parking shall be buffered by opaque hedging and landscaping, which will be at least forty (40) inches high at planting, as measured from the finished grade at the adjacent roadway.

### *A Green Sense of Place*

There are many economic and environmental benefits to development practices that employ “green” principals through the site development and building construction standards employed by national organizations, and found in many local codes. Resources available through websites are listed for the development community. Project sites (individual or collective) must be designed and developed to achieve 100% LID, where practicable.

US Green Building Council: [www.usgbc.org](http://www.usgbc.org)

Florida Green Building Coalition: [www.floridagreenbuilding.org](http://www.floridagreenbuilding.org)

### *Connectivity*

Site design must include a system of shared access that safely will accommodate pedestrians, non-motorized and motorized vehicles. The system shall connect different land uses (residential/non-residential) within Activity Centers; and, will connect the Activity Centers to the surrounding residential development or neighborhood. Connectivity to surrounding neighborhoods includes, but is not limited to bridges, sidewalks, bike paths, walking trails, and water taxis. All pedestrian crosswalks shall be pavers or stamped concrete in the designs specified for each Activity Center.

### *Buffering the Rear of Buildings*

The rear perimeter of the lot on which a building faces a public roadway, alley, or a pedestrian/non-motorized corridor shall be planted with an six (6) foot high buffer measured from finished grade of the roadway or sidewalk, whichever is the highest, consisting of shade trees and hedges. At planting, the hedge shall be 80% opaque. The shade tree canopy and hedge shall be maintained such that a clear view is always present to promote natural surveillance. Buffering areas shall conform to the Crime Prevention Through Environmental Design (CPTED) principles and the existing regulations in the ULDC, Chapters 33 and 37. All sides including the rear of buildings shall have an enhanced façade which reflects the architectural design of the front of the building.

### *Brick Pavers*

At all intersections, pedestrian crossings, and turn lanes on any arterial or collector roadway, brick pavers or stamped concrete shall be installed in the design shown. The design for pavers on local roadways and within development sites are found in each Activity Center section of this Urban Design Standards Pattern Book.



# *Site design*

## *Blueway Commons*

The City's canals provide natural barrier between land uses. In addition, the canals provide opportunities for connectivity, recreation and public space. Consistent with the City's adopted Comprehensive Plan, Activity Centers that are located along waterways, shall incorporate public access points within each quadrant. Developer's shall dedicate a common area along the length of the adjacent waterway that includes pedestrian amenities such as gardens, seating, and walkways that connect the blueways to the Activity Center's sidewalk system. These Blueway Commons areas will be primarily used by residents and employees who are located within the Activity Center, but shall be available to the public at large. Locations are shown on the Activity Center Maps, within each Activity Center section.

## *Signature Locations*

An important objective in first-class design guidelines is to identify locations that warrant special treatment. North Port's intersections are ideal locations for signature designs—designs whose prominence stands out, and those designs will help differentiate geographical locations. Signature designs for each major intersection (arterial/arterial, collector/collector, arterial/collector, local/arterial, local/collector) shall incorporate eye-catching features. Applicants shall develop designs that showcase areas of commerce. These design guidelines do not specify specific design standards, but suggest design features. Listed below is a short list of components for signature locations. Components not identified and listed in this section may be allowed in signature locations, subject to City approval.

Components:

- pavilions/gazebos
- bridges
- clock towers
- Buildings located adjacent to the sidewalk(s) along a roadway
- Artwork

If a stormwater pond is wet, it shall include a fountain equipped with night lighting for enhanced visual impact. All stormwater ponds (wet or dry) shall include landscaping, benches, bike racks and lighting to create a park-like setting.

## *Outdoor Sales and Storage*

Outdoor sales are permitted by Special Exception only in all Activity Centers. Outdoor storage is prohibited in all Activity Centers. Where car dealerships are permitted by Special Exception, the permit will specify location of buildings and conditions pertinent to outside vehicular display (See Sec. 53-240.Y).

## *Utilities*

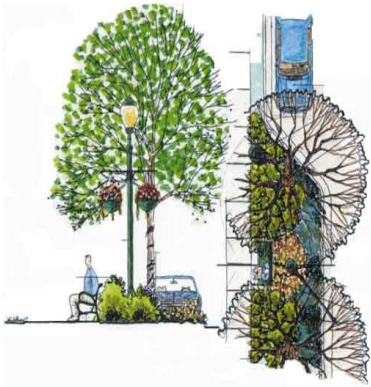
All utility (cable, telephone, etc.) and power lines shall be placed underground.

## *Transit/Rider Amenities*

Accommodation for existing and future transit stops shall be incorporated within the site. If determined appropriate, transit stops shall be incorporated off-site, adjacent to neighborhoods. Where a transit stop is designated, a covered structure that includes bench, bike rack, trash receptacles, water fountain (if water is available), and landscaping, shall be provided for transit users. All transit shelters shall be shaded by canopy trees. Transit shelters shall adhere to the City's standards for shelters at the time of permitting, and shall be painted "North Port City Center Green".

## *Streetscape*

To supplement landscaping requirements found in Chapter 21 of the Unified Land Development Code (ULDC), the identity of each Activity Center should be reinforced by a coordinated pedestrian-oriented streetscape including sidewalk, street furniture, planters, trash receptacles and lighting. Street design shall follow trends for "great streets" and/or "livable streets". A hierarchy of street types is listed below. All street treatments shall be identified on a site plan. Additionally, many national sources are available on line. Each Activity Center shall include a coordinated streetscape plan for the entire Activity Center which shall be accomplished through a detailed Streetscape Pattern Plan.



All benches shall be in the design as indicated for each Activity Center within this Urban Design Standards Pattern Book. With the exception of benches located in public ROWs, bench colors shall match the color shown on the chart on page 6 for each Activity Center. All public benches shall be North Port City Center Green. Benches, whether public or private, shall be placed a minimum of every ¼ mile or 1320 feet along all public and private roadways. All design and landscaping options dictated by size and shape of the parcel shall be approved by City Staff.

Street trees are an important part of the streetscape and shall be placed along both sides of all roadways. Each Activity Center has an identifying street tree as specified in each section; however, each activity center shall utilize the live oak because it is environmentally compatible.

## **Street Hierarchy:**

**Arterial** – major travel route which provides connection between collectors, 45-55 mph posted speed.

**Collector** – major travel route, provide accessibility to adjacent properties, 30-40 mph posted speed.

**Parkway** – 2-lane divided, provides for regional connection, 30-40 mph posted speed, may accommodate on-street parking.

**Local** – routes within a development, 30-35 mph posted speed, may accommodate on-street parking.

**Alley** – found at rear of properties, 10-15 mph posted speed.

# Site design

## Signage



In addition to the signage requirements in the Unified Land Development Code, a signage plan for each development within the Activity Center shall be developed and approved by the City through the Development Master Plan (DMP)/ Development Concept Plan (DCP), Subdivision Plan (SD), or Major Site Plan (MAS) process. To ensure coordinated signage throughout the Activity Centers, the plan shall address the number, location and material of signage for buildings, monuments, directional, information, kiosks, wayfinding, etc. Building signage will be limited to primary buildings and may include perpendicular (or hanging) storefront signs with the bottom of the sign measuring 8 feet from the ground; site signage will be limited to monument signs. Pole signs, billboards, off-site signs, neon and banner signage are prohibited. Signage material shall match the material and architectural style as indicated for each Activity Center. To prevent a proliferation of individual signs, out-parcel signage is limited to one monument sign per parcel with a minimum separation of 50 feet, and building wall signage only. For shopping centers and subdivisions, ground monument signs shall be located at entry points into a development or parcel (individual monument signs are prohibited). The maximum allowable height for signs is found within each Activity Center section. Electronic message boards may be used on monument signs and wall signs as indicated in the ULDC, with a maximum area of 8 sq. ft. The electronic message will be deducted from the allowable sign area.

## Wayfinding

Wayfinding signs shall measure 2x2 with a background color of Pantone Grey1C. The lettering and border shall be in the Activity Center's identifying color found on page 6 and all lettering shall be in block style. The Springs (Activity Center #7) shall use black letters. Wayfinding signs are permitted to identify points of interest and not to advertise for any particular business.

## Outdoor Display

Outdoor display for retail sales in conjunction with a primary use is permitted with prior City Commission approval as a Special Exception Permit. All outdoor display shall be approved by the City and shall not exceed 45 days in duration, unless otherwise specified.

Applicants shall provide a site plan indicating the proposed location of the outdoor display area and shall not impede pedestrian or vehicular traffic flow or access. The applicant shall also provide a list of items which are proposed to be displayed. All outdoor displays will be placed to enhance the display area's aesthetic appeal.

## Service Areas

Service areas, including dumpsters shall be visually screened from public view by a solid masonry wall, which is minimum height of six (6) and maximum of eight (8) feet, measured from finished grade. The wall shall be decoratively finished concrete masonry, brick, stucco, or other material matching the exterior of the principal building. No part of a dumpster or materials stored within any service area shall extend above the required masonry wall. Chain link, unpainted block walls, barbed wire and wood are prohibited as part of a wall. Dumpster areas shall have an access gate that latches, pursuant to the Department of Public Work's specifications.

Service areas proposed to locate adjacent to any roadway are not permitted unless the area is enclosed such that all sides appear as a primary façade similar to the principal building, including design, detail, finished material and landscaping. Service and dumpster areas shall be directed away from any adjacent residential development or pedestrian thoroughfare.

# *Architecture*

To distinguish between Activity Centers and to ensure design consistency, Activity Centers shall be developed and constructed according to the architectural 'style' defined within this Urban Design Standards Pattern Book. All site plan submittals shall include elevations and renderings for all sides, and identification and photo samples of all exterior materials, including roofs. Any special style features and treatments shall be identified and shown. Examples are found within each Activity Center section of this pattern book to aid in clarification of design. A summary of the architectural styles is below.

High contrast, electric and day-glo colors are not permitted. Acceptable color selections are found in the section that pertains to each Activity Center. Graphics or color schemes used on a building as an extension of allowable signage shall not be permitted.

Windows and doors shall reflect the architectural style of the building.

## **Architectural Styles**

Colonial Revival—Entrance stairs typically centered on the main façade, porches may be portico/simple entry porches, simple classic columns spaced evenly across the front façade, simple railings and balusters, symmetrical façade, gable, hip or gambrel roof, with roof over porch. Dormers with hip or gable are to be a defining characteristic, horizontal wood shingles or material with similar look, defining chimney lines, windows are paired double-hung with upper sash being divided and lower is a single pane. Windows are detailed with simple surrounds and sometimes framed by wooden or wrought iron grills. Doors often flanked by fixed glass sidelight, surrounded by simple classical trim. Shutters may or may not be used.

Mediterranean – Symmetrical or Asymmetrical in shape with multiple facades. The façade shall be smooth to rough textured stucco and monolithic with no rustication or exposed joints. Ornamental brackets shall be used to enhance the façade. Blank walls are not permitted. Awnings may be used. Casement or double-hung sash windows with arched or rectangular openings are to be used. Fenestration, other than windows and doors, is minimal. Transoms may be used. Doors are framed with arched entrance and major entrances shall have individualized ornamental treatment. The roof shall be flat, hip or shed with some form of parapet on the front façade. Barrel tile or a material with similar appearance shall be used. Roof eaves with exposed rafters and decking shall be used where feasible. Exposed rafters are to have fancy end cuts. On multi-level buildings, balconies (usable or unusable) shall be used with wrought iron or spindle railings. Towers, courtyards and projecting porticos are to be used. **Earth-tone colors (bold or soft) are acceptable.**

Spanish Mediterranean—Is similar to Mediterranean; however, bolder colors are used with carved arches to define all entrances and doorways with no ornamental treatment.

# *Architecture*

Florida Cracker – Asymmetrical in shape with single façade. Siding shall be horizontal wood siding or a material that has the same appearance. Double-hung sash windows, multi-paned with simple surrounds aligned both horizontally and vertically. Doors have recessed wood panels. Gable or hip roof with shed or gable overhang, shingle or standing seam metal or a material with similar appearance may be used. Non-decorative exposed rafter ends shall be used. Eaves or overhangs shall be continuous and the same width around the entire building. A veranda porch that stretches the length of the building with shed roof supported by square columns spaced evenly apart that are connected by balustrades with plain spindles (may extend the complete perimeter of the building). No shutters are permitted. Deep bold colors are acceptable.

Southern Small Town – Asymmetrical in shape with multiple facades. Each storefront shall be distinguished with a different façade of distinct brick or smooth masonry with or without a parapet. Medallions are to be used at building corners as a distinguishing feature. Casement or double hung windows with ornamental surround, picture windows with awnings, or bay windows shall be used. Entryways are to be recessed with one or two panel glass door or full glass door, and side or top lights/windows may be used. Roofs are to be flat or gable or a combination. Alternating eaves widths with plain fascia or boxed cornice shall define the roof. Awnings of coordinating color, shape and size are to be used. No shutters are permitted. Both pastel and deep colors are acceptable.

Key West – Symmetrical or Asymmetrical with multiple facades. The façade is to be smooth finish concrete, stucco, or siding or a material with similar appearance. It may be enhanced by a medallion. Windows are casement or double hung with simple surrounds. When multiple stories are used, windows may be a mixed of sizes and shapes; however, shall be in a vertical and horizontal alignment. Shutters are to be used to accent the windows. The main roof shall be hipped and steeply pitched with one or more lower cross gables. Small flat decks and dormers may be used. Roofing material shall be shingles, a standing seam metal or a material with similar appearance. Deep/wide porches with projecting porticos are to be used to enhance the front entrances. Simple classic square columns with simple railings and spindles are to be used along a porch or balcony areas. White or pastel colors are acceptable.

Neoclassical – Symmetrical in shape with multiple or single façade. The façade is to be brick or stucco or a material with similar appearance. Full height portico and classical round columns are to be used. Balustrades with decorative balusters along the full length of porches and balconies are to define the exterior of the building. Windows are double hung sash with or without shutters. A horizontal cornice shall be placed above all windows. Entry doors shall all be aligned and accented with decorative pediments or transoms and sidelights. The roof shall be shingle with coordinating roofline balustrades. Medallions beneath the roof and a wide frieze band surrounding the building shall be a distinctive feature. Shutters may be used, but awnings are not permitted. Covered side and rear porches with coordinating railing may be used; however, symmetry shall be maintained. White or pastel colors are acceptable.

Contemporary Industrial – Straight lines, asymmetrical or symmetrical in design. Primarily glass walls in combination with other architectural materials. Windows shall be symmetrical picture windows.

Neoportian – Distinguishably North Port. This style incorporates tile or shingle roofs that are hip, flat or gable with awnings and projected eaves that are of mixed widths and design. Balconies shall also be incorporated within the façade, however they may or may not be functional. Each façade is distinctly defined for each business entrance and corner areas are to be distinguished by a rounded, octagonal or other defining shape. The use of bold colors in the cool hue family shall be used; i.e. dark medium blue, terra cotta, hunter green, brick red, deep golden yellow. Windows shall be casement without small panes.



# Lighting

Fig. L.1



Lighting enhances the sense of personal security and provides opportunities for illuminating natural or urban features. Lighting shall be coordinated within individual sites such that it appears that individual site lighting was master planned. Light heights for roadways and parking lot lights shall be designed for the context and shall meet existing City standards. Light heights for sidewalks, courtyards, plazas, and spots where pedestrian activity is concentrated shall be a

Fig. L.2



combination of pedestrian-scaled and bollards. Lighting choices are defined by area and color theme. In accordance with CPTED (Crime Prevention Through Environmental Design) and the goal of the City to create a Safe, Clean, and Pedestrian friendly environment for the residents of North Port, foot candles shall maintain a minimum of .9 in all pedestrian areas. Flexibility in meeting the foot candle standard can be met by a decorative pole to bridge any gaps in the foot candle requirement. The designated design for light poles or similar designs shall be used in all developments within the Activity Centers. Light poles and bollards along all arterial and collector roadways shall be as shown in Fig L.1 and L.2.

Light poles located within the developments of the Activity Centers shall use the pole designs that are designated in the individual Activity Center sections in this Urban Design Standards Pattern Book.



# *Outdoor dining*

**Outdoor Dining** is defined as an area abutting a primary building and located on a public sidewalk or right-of-way where patrons consume food and/or beverages provided by an abutting food service establishment. Such establishments may either provide table service in the outdoor dining areas or sell take-out items to be consumed in the outdoor dining area. The City will process all applications for outdoor dining with a Major Site Plan.



Design standards: 1) the sidewalk area shall be maintained in a clean and safe condition; 2) a minimum of five (5) feet shall be maintained as unobstructed sidewalk area and shall be placed adjacent to the roadway or building. The sidewalk must be kept free from any/all obstructions or encroachments related to the restaurant use; and 3) the proposed outdoor dining area shall comply with all conditions of this section. The outdoor dining area shall have a 4 foot high partition along the side of the seating area which is closest to the Public Right-of-way, to ensure public safety.

The business shall be a properly zoned and licensed food or beverage establishment located on the interior first floor of a structure adjacent to the sidewalk area where the outdoor dining is proposed.

The outdoor dining area shall be impermanent, such that posts, chairs, tables, planters and other equipment, referred to herein as "dining equipment," may be removed when not in use or during an emergency event such as a major storm.

The City staff may require changes to the size or configuration of the proposed outdoor dining area based upon right-of-way flow and safety concerns

Outdoor dining areas shall be located on the same parcel lot and in conjunction with a restaurant, and shall be permitted according to the City's permit criteria. Approvals, however, may be revoked by the City for failure to comply with ULDC regulations. The permit(s) and state licenses, if required, shall be submitted to the City for verification.

## *Outdoor dining*

The sale and consumption of alcoholic beverages within the outdoor dining area shall be subject to all requirements of the City code. Special conditions may be placed upon the permit if the outdoor dining location is within 300 feet of residential uses (existing and future). If a canal separates the outdoor dining area from residential, an exemption from the 300 foot residential separation may be granted, however a minimum separation of 200' shall be maintained. A type D buffer is required for all outdoor dining areas that are located adjacent to residential or canals that are adjacent to residential areas.

Adequate facilities for refuse disposal, subject to review and approval by the City, shall be provided. Subject to specific noise requirements in the ULDC, no music or other noises generated by the operation of the outdoor dining area shall exceed the decibels allowed as per City code and shall be aimed as not to emit sound beyond the property limits. The outdoor dining area shall not be detrimental to the health, safety or welfare of nearby residents or persons working or shopping in the vicinity of the outdoor dining area.

Advertising or promotional features in a permitted outdoor dining area shall be limited to moveable daily 'special-of-the-day' boards, umbrellas and canopies, and shall be limited to no more than 15% of the surface area of the umbrella or canopy. The advertising or promotional pieces cannot encroach into the five (5) foot clear area on the sidewalk.

Applicants must provide a site plan indicating the proposed location of the outdoor dining area and the area's distance from all of the property lines. The applicant shall also demonstrate, through photographs, cut-sheets or other documentation, how the perimeter of the outdoor dining area will be defined—shrubbery, fencing, ropes, etc. and where the access point(s) will be located. All materials used to define the outdoor dining perimeter shall enhance the aesthetic appeal of the area.

Hours of operation will be approved by the City and based, in part, upon compatibility with surrounding uses. In no event shall the outdoor dining area operate earlier than 6:00 AM or later than 1:00 AM for areas not audible from residential areas.



# Parking

To avoid large expanses of asphalt in large parking lots, and to break up monotonous parking lots, parking areas shall be designed to incorporate medians landscaped with canopy trees. Parking lot designs and landscaped islands shall be incorporated in compliance with Chapter 25 and 45 of the Unified Land Development Code.

Parking in the front of a building will be limited to one row. The remainder of required parking shall be located to the rear, side, or internal. When located adjacent to a side or internal street, the parking shall be buffered with landscaping, consisting of shade trees and hedges. At planting, the hedge shall be 80% opaque. The shade tree canopy and hedge shall be maintained such that a clear view is always present to promote natural surveillance. The buffering shall conform to the Crime Prevention Through Environmental Design (CPTED) principles and to the existing regulations in ULDC, Chapter 21.



Fig P.1

Parking lot medians shall contain canopy trees, 30' on center, consistent with the City's Unified Land Development Code. Pedestrian oriented streetscape lighting and furniture, if appropriate, shall be incorporated into the medians as shown in Fig. P.1. Courtyards, public art, and landscaping treatments such as flower beds shall also be incorporated. The heights of parking light poles shall be designed to accommodate pedestrians and various physical barriers.

Parking lots near sidewalks shall provide adequate security and lighting, provide wheel stops to avoid encroachment of vehicles onto the sidewalk, and minimize the visual clutter of parking lot signs and equipment (Fig P.2).



Fig P.2

## *Stormwater/Fitness Trails*



*To* create a public venue in a park-like setting, all wet stormwater ponds meeting the City's Unified Land Development Code thresholds shall be made an amenity that will include a water feature (fountain) with spray or a waterfall (with night lighting), improved surface walking/fitness path, benches, pedestrian-scaled lighting and at least one pedestrian/ADA drinking fountain that may include a pet-friendly option.

An example of the drinking fountain styles are shown. Thresholds for stormwater ponds are determined in the Unified Land Development Code. The size and spray pattern of the aeration device will be determined based on the site context, including consistency with existing fountains in the area. The aeration capacity of the device shall be sufficient to avoid buildup of green algae, turbidity, scum, foul smells and fish kills. Consistent with the Unified Land Development Code, the wet pond littoral zone shall be planted with aquatic plant species.

# Street Furniture

**B**enches, trash and recycling receptacles and smoking urns common in urban and urbanizing areas for customer convenience and contributions of place making, shall integrate throughout the site with the exact number and location to be determined through the Development Master Plan, Subdivision Plan or Major Site and Development process. Through this design standards pattern book, the City is establishing a wayfinding bench system which, when complete, will link the distinctive North Port City Center green benches along public ROW on arterials and collectors. Local roadways in the urban area will have distinct identifying wayfinding components. The prescribed color for each Activity Center will serve to distinguish between public and private areas. All wayfinding benches will be located adjacent to streets. An example of the existing wayfinding benches are located at City Hall. Information from other sources is included as examples of 'like' styles and design. All colors shall be approved by the City and shall match the color code provided in the Style and Design Section, Page 6, chart 2.

All benches located in public ROW shall be North Port City Center Green along the wayfinding system of arterial and collectors roadways and shall be the prescribed color for each Activity Center within the development. All public benches shall be at least six (6) feet in length and adhere to the specified design of each Activity Center.

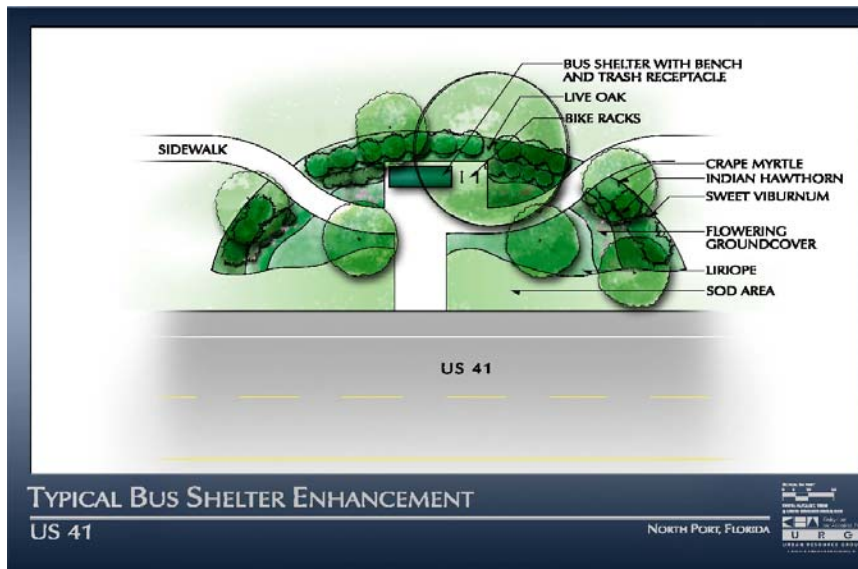
**E**xamples of trash, recycling and smoking urns are provided. All trash receptacles shall substantially match the examples shown in each Activity Center section of this Urban Design Standards Pattern Book. All colors shall be consistent with those established for each commercial area as indicated in the Style and Design Section, Page 6, chart 2. The number and location of trash, recycling and ash cans will be determined through the Development Master Plan, Subdivision, and/or Major Site and Development process.



# Transit Shelters

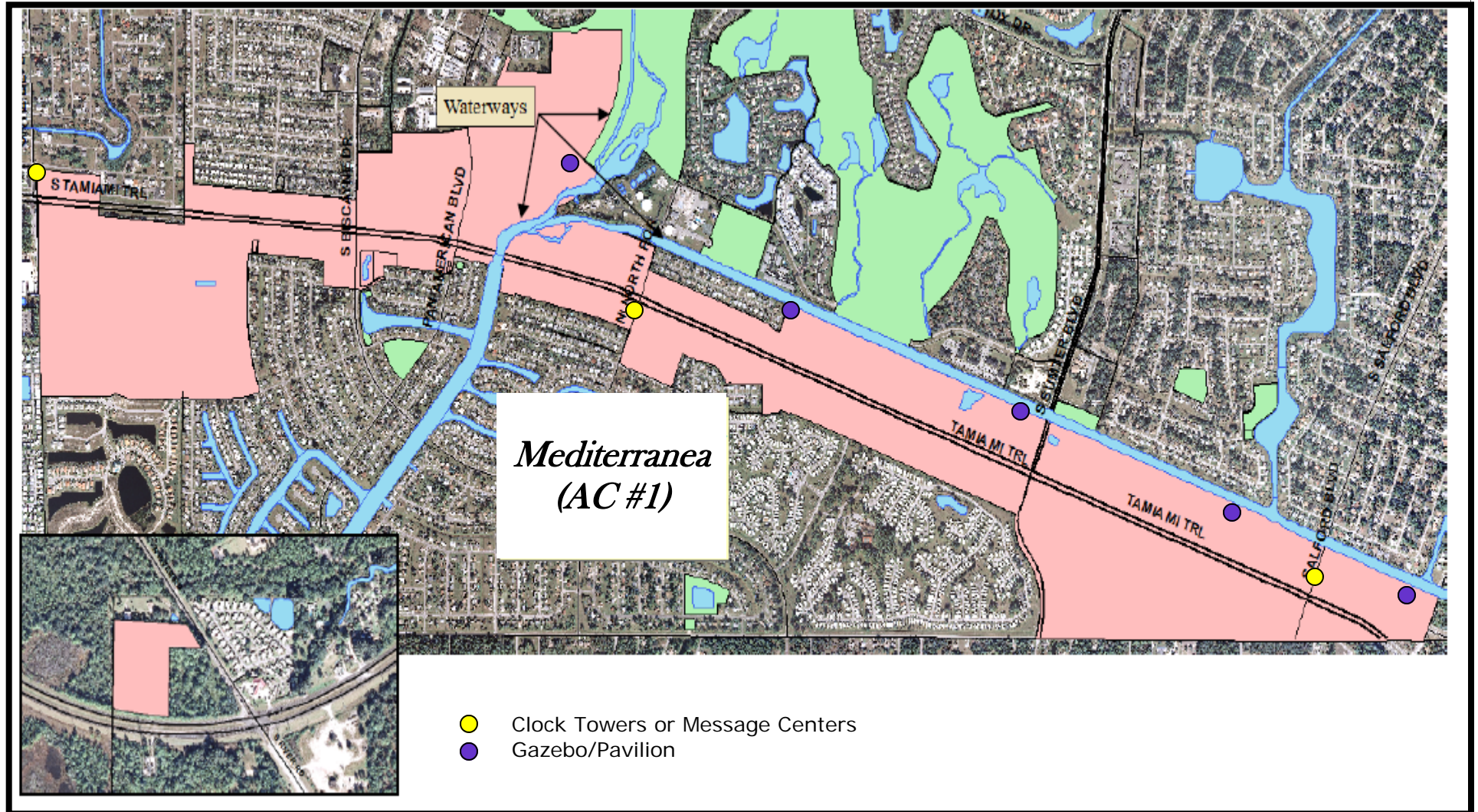
Transit shelters shall be provided at strategic locations and shall be built according to the specifications provided by the City in conjunction with Sarasota Area Transit Authority (SCAT). Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains if water is available. At least one canopy tree shall be placed at all transit shelters.

Location and placement of all transit shelters shall be approved by the City.



# MEDITERRANEA

# Activity Center #1



All areas along US 41 shall be designated as Mediterranean (Activity Center #1), present and future, and shall be regulated by these Urban Design Standards, the Unified Land Development Code, and any approved Development Master or Concept Plan in effect. All roadway cuts that intersect with US 41 shall be approved by Florida Department Of Transportation (FDOT).



# ***MEDITERRANEA***

# ***Activity Center #1***

This Activity Center was established to provide for retail, office, commercial and limited light industrial uses. It is located along US 41. All commercial development design shall be approved by the **Tamiami Trail Architectural Review Board –(TTARB)** prior to construction. All steel and aluminum shall be painted, or anodized, all wood shall be painted or stained, ornament and trim colors shall be compatible and harmonious with the building colors. High intensity bright and metallic colors are prohibited. Private colors within a development shall be “Terra Cotta” as indicated in the chart on page 6. The color of all outside furniture and metal located in this activity center shall be “North Port City Center Green”.

Permitted uses for Meditteranea are listed in Chapter 55 of the Unified Land Development Code. All development within Meditteranea (AC #1) shall provide the design elements in a similar style to those listed and shown:

- Architectural Style:** Mediterranean
- Private Color:** Terra Cotta (Pantone 1605C)
- Public Color:** North Port City Center Green (Pantone 567C)



**Benches** – shall be made of metal with a curved back with similar embellished design as shown. The bench back and seat shall be connected with gooseneck armrests.



**Bike Racks** - at least one bike rack shall be provided per development site and shall be rounded corner rectangular as shown. Slots for 4 bikes shall constitute one bike rack as required by the Unified Land Development Code. Calculations for the number of bike racks per site may be found in the City's ULDC.

**Brick pavers** or stamped concrete shall be used for all pedestrian crossings both internal and external to the site and shall be in a herringbone pattern. The design shall be red brick bordered by concrete bands as shown. The minimum width shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.



**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zoning, park lands, or R-O-W.

**Clock Towers or Message Centers** shall be used at strategic locations as identified on the Mediterranea map at the beginning of this section. All metal clocks shall be painted a coordinating color to the principle structure. All clocks in this Activity Center shall have a round face with Roman numerals, smooth encasement with no embellishments as shown. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.



**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck an unobstructed approach. The entire corral, including a gate, must be a material that is opaque.

**Fences** shall be consistent with the building design. Stained wood and coated chain link fences may be used in areas not visible from the street and black decorative wrought iron fences may be used in approved areas. Split rail, stockade or similar type fencing is prohibited.

**Gazebo/Pavilions** may be used at strategic locations as shown on the Mediterranean map. Incorporated within the gazebo shall be a Mediterranean style architecture. The roof shall have shingled roof or similar design and shall have a single roof with topper as shown. Spindled railing shall be used with decorative embellishments at the roof and each post as shown. Gazebos may be stained or painted in a coordinating color. Landscaping with at least one canopy tree shall be placed around the gazebo/pavilion area.



**Landscape designs** shall promote the reduction of future maintenance. It is the developer's responsibility to maintain all landscaping.

**Lighting** – light poles shall be as shown in figure #1 and shall be painted North Port City Center Green within the development. Lights are to be placed within the development along all roadways, drives and footpaths. If connector or major local roadways are designed as part of a development, street lights shall be as shown in figure #2. All pedestrian areas shall maintain a minimum of 0.9 foot candles.



Figure #1



Figure #2

**Outdoor displays** are allowed with a Special Exception permit. All displays must be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building except as permitted with Automobile Dealerships pursuant to Sec. 53-239(V) of the Unified Land Development Code.

**Outdoor seating areas** shall use the courtyard approach and shall use a courtyard setting with canopy trees as shown. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area. In Mediterranean, balusters are to be used for separation between the dining and sidewalk or roadway areas and shall be terra cotta in color.



**Parking** requirements are found in Chapter 25 of the City's ULDC.

**Planters** shall be placed along sidewalks and entryways. Planters shall be made of concrete or of a material with similar appearance and shall be terra cotta in color. The planter shall have a maximum height of 2 ft. and have a rounded bowl shape with a base as shown below. See chart below for the minimum number of planters required.

Building Front measurement	Planters required
Up to 50 ft	2
51' – 100'	4
101 – 125'	5

*For each additional 25 feet one planter is required.*



**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

**Roofs** shall be barrel tile design as designated in the Tamiami Trail Architectural Guidelines. All colors shall be approved by the **Tamiami Trail Architectural Review Board**.



**Signs** shall be in keeping with the Mediterranean design with columns, a base and capital with wording between columns. Calculations for sign faces are found in the City's Unified Land Development Code. The height of freestanding signs in the Mediterranean (Activity Center #1) is limited to a maximum of 25 ft. All freestanding signs shall be approved by **TTARB**.



Hangings signs are permitted with the bottom of the sign measuring a minimum of 8 feet above the sidewalk. The sign shall be oval in shape with a background color of Pantone warm gray 1C with terracotta color (Pantone 1605C) lettering and border. The lettering shall be Block. The sign shall be attached with a single arm with scroll embellishment as shown with a sign area not to exceed 9 square feet.



**Prohibited Signs are as follows:**

- Animated signs
- Signs with visible neon tubing
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Revolving or rotating signs
- Flashing or audible signs

**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park lands, a solid masonry buffer wall shall be used in conjunction with trees placed 30 feet on center. Shrubs shall be planted between the trees to build a continuous hedge. A buffer shall be placed along each property line that abuts differing land uses with shrubs 36 inches in height at time of planting. All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** Mahogany

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with Sarasota County Area Transit (SCAT). Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains where water is available. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. The design shall be rounded and in a coordinating pattern, color and material as the planters to enhance visual impact throughout the Activity Center. See examples below.



**Utilities** shall be underground.

**Walking trails** shall be incorporated around pond areas and within all developments to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. If all other requirements are met for pervious surface area, walking trails shall be impervious or of a surface to provide effective bicycling.

**Wheel stops** shall be placed in compliance with Chapter 21 and 25 of the Unified Land Development Code.

The **Tamiami Trail Architectural Advisory Board** shall review petitions in conjunction with the US 41 Architectural Guidelines as shown on pages 33-48 only.

# *City of North Port*



## U.S. 41 ARCHITECTURAL DISTRICT



## **PURPOSE AND INTENT**

The U.S. 41 Corridor in North Port serves as a major commercial district and gateway to the City and Southern Sarasota County. This corridor has been the traditional commercial core of North Port and as the City continues to grow, it is imperative that this corridor remain a viable and attractive commercial center through the preservation of various elements of urban beauty, requiring new projects and substantial exterior improvements to existing structures utilize Architectural Guidelines along U.S. 41.

The purpose and intent of these guidelines is to supplement other applicable building, land development regulations, and urban design standards, by establishing Architectural Design and Planning criteria for buildings and sites within the District.

Commercial Development usually requires high visibility from public streets and the building and site design determines the “image” and attractiveness of the streetscapes and the community. It is the intent of these guidelines to direct Planning and Architectural Design that contributes to the positive image of the community, provides for integrity of Architectural design and enhances quality of life. New buildings and substantial exterior improvements to existing buildings within the identified boundaries of the District shall be designed and constructed to reflect a Mediterranean architectural style.

Boundaries of the District.

The boundaries of the US 41 Corridor Architectural Review District are shown on the Activity Center map on page 24.

## **APPLICABILITY**

Architectural Guidelines apply to the following within the Architectural Corridor District:

The provision of this Section shall be applicable to aspects of architecture, lighting, and monument signage for all new commercial developments, buildings, and exterior improvements done in conjunction with substantial improvement(s) of existing developments, buildings, and structures (except single family residential) located within the U.S. 41 Corridor Architectural Guidelines District Boundaries, excluding Trott Circle.

The provisions of the Mediterranean Architectural Color section relating to repainting shall be applicable to all structures.

Renovations and Redevelopment (where re-development or renovation cost exceeds 50% of the appraised value of the existing structure or area exceeds 20% of the existing square footage then these guidelines shall apply to the entire building.) Whether an improvement constitutes a “substantial improvement” for the purposes of this Section shall be determined by Director responsible for land development services or designee, based upon information presented.

Persons with interests in property within the designated Boundaries of the District are encouraged to voluntarily employ the design criteria specified in this section for repair, remodeling, or rehabilitation projects which do not constitute substantial improvements as that term is defined in this section.

Persons with interests in property within the designated Boundaries of the district are encouraged to voluntarily employ the design criteria specified in this section for repair, remodeling, or rehabilitation projects which do not constitute substantial improvements as the term is defined in the Unified Land Development Code.

Specific Criteria:

### **ARCHITECTURAL CHARACTER**

The Guidelines require appropriate design that expresses or strongly relates to a style of Architecture known locally as the “Spanish Mediterranean Revival” or “Northern Italian Renaissance” style. This design style was developed largely during the 1920’s land boom throughout Florida.



Some examples include the John and Mable Ringling Museum and Ca’d’Zan, the Sarasota Times Building, the original part of the Sarasota County Courthouse, and numerous buildings constructed in the 1920’s throughout Sarasota County. Some local examples related to this style include the San Pedro Catholic Church, the North Port Public Library, Peninsula Bank (illustrated above), Sun Herald Building, North Port Commons, and Co-coPlum Shops.

The Architectural character of this style has the following characteristics:

#### **Building Form:**

Structures are usually one and two stories, irregular in shape, and have multiple façades. In non-residential buildings, fenestration on the ground floor consists of storefront windows in arched or rectangular openings. Second floors feature balconies and arched head doors and windows in multiple or regularly spaced patterns. Creative use of one story projections, towers, courtyards, projecting porticos, porte cocheres and walls complete the design.



## **BUILDING DESIGN REQUIREMENTS**

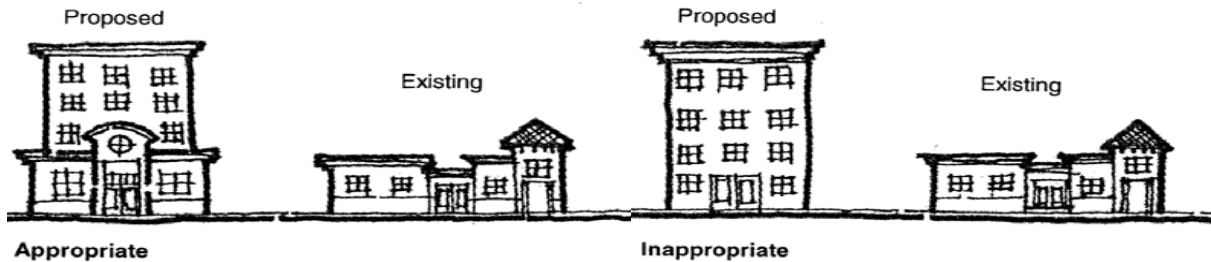
Buildings shall be designed consistent with the style described in the preceding “Architectural Character” section and these guidelines. Buildings shall have architectural features and patterns that provide visual interest from all pedestrian, as well as vehicular perspective. Façades shall be designed to reduce the mass/scale and uniform or monotonous appearance of large, long, and highly repetitive walls. Articulation is accomplished by varying the building height and width to divide it into distinct massing elements. At road intersections, corner lots shall be designed with added architectural features, such as towers, to emphasize their important location as transition points or a gateway to the community.



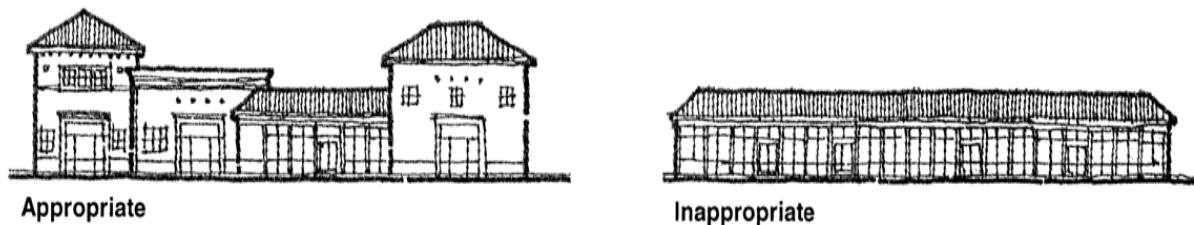
Other specific design criteria include:

### MASSING

No building façade shall be over two stories in height, unless the façade includes projecting or recessed portals, step backs or other transitional massing elements.



When a building is located within 300 feet of any existing building and is more than twice the height of the adjacent building, a transitional massing element at the approximate average height of the adjacent building shall be provided.



Site permitting, staggered, complex, and picturesque dispositions should be adopted. Where a straight front wall is proposed, recessed entrances are required.



Minimum massing articulation shall be:

- A. On publicly visible façades, one-story buildings 10,000 sq. ft. or greater or two-story buildings 20,000 sq. ft. or greater shall provide wall plane setbacks for at least 25% of the façade length at a minimum depth of 5% of the total façade length.
- B. On publicly visible facades, building sizes less than a. (above) shall provide a recessed entrance, upper story setback or wall plane setback for at least 25% of the façade length at a minimum depth of two feet.

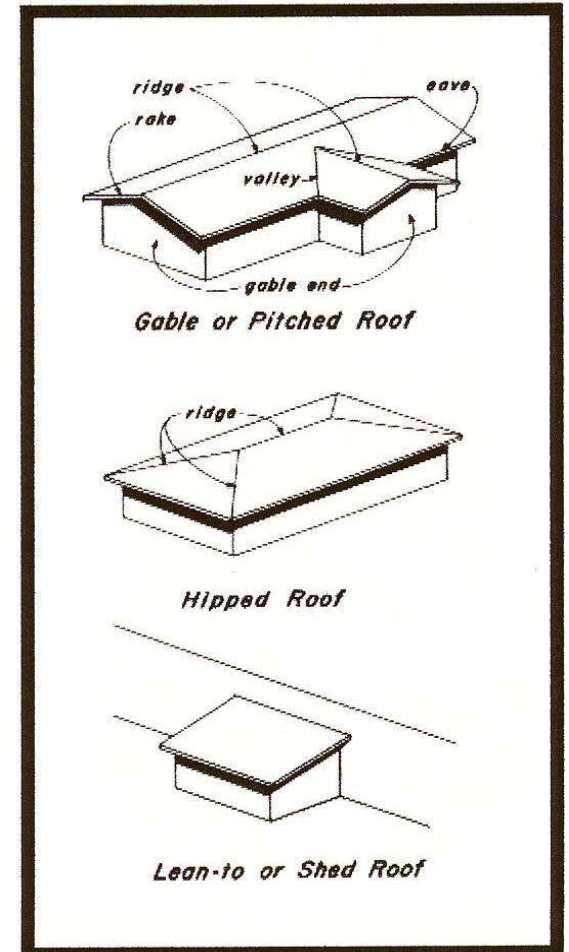


## ROOFS

The roof areas and parapets are one of the most important elements of the architectural character. A variety of roof types are permitted. Pitched roof surfaces, however are almost exclusively covered with red clay barrel tile or similar roof tile, and include hip, gable and some shed roof forms. Most roofs have rain gutters with downspouts and little or no overhangs. On small structures, flat roofs may be limited to one-story wings or garages. On larger structures flat roofs may predominate. However, flat roofs are usually hidden behind parapet walls.

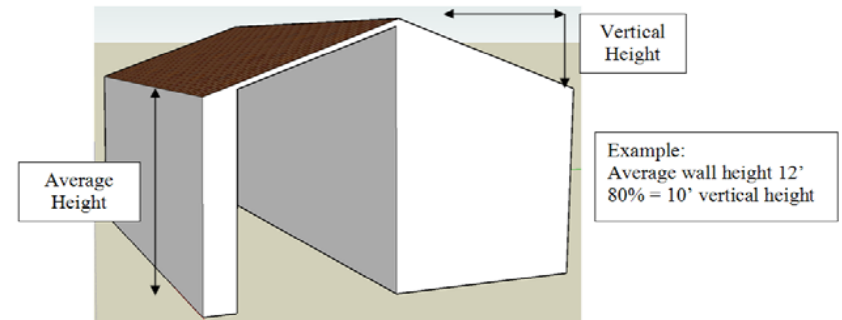
### Roof Types:

Permitted roof forms or shapes include flat roofs with parapets, and uniformly sloping roofs such as hip, gable, shed, mansard and combinations of these types consistent with the Mediterranean style.



Flat roof surfaces shall be fully concealed from street level public view by parapet walls. Only those façade sections that are visible from the public right-of-way shall be concealed by parapets. The back of buildings abutting alleyways will not require parapets. New commercial buildings that are located on the interior of three or more consecutive lots will not require side parapets in anticipation of future connected construction on each side.

Permitted sloping roof forms must not have a vertical height greater than 80% of the average height of supporting walls.



Prohibited roof forms include domed, vaulted and hyperbolic or any other non-uniformly sloped roof. A domed roof used as a small percentage of total roof area will be considered on an individual basis subject to the type of building and its proposed use.

### **Roof Materials:**

Acceptable materials are barrel tiles of clay, terra cotta, concrete, or similar material sustaining the same appearance of barrel tile of clay Terra Cotta or concrete.

Unacceptable materials include flat tiles of all types including clay, concrete, slate, asphalt/fiberglass, membrane asphalt and/or gravel, mineral surface, standing, flat or batten seam metal, wood shingles or shakes, corrugated metal of fiberglass or any other material not listed as acceptable.

Flat roofs concealed from view may be of any material subject to compliance with other applicable regulations.

Exposed flashings may be copper or painted sheet metal to match adjacent material.

Angled roofs shall be hipped and covered with tile or materials similar in appearance thereto.

### **Roof Color:**

Roof coverings shall be dark reds, terra cotta, or earth tone in color. If the roof is completely concealed from view any color may be used.



## **WALLS AND EXTERIOR FINISH MATERIALS**

Walls are covered in smooth to rough textured stucco and are monolithic with no rustication or exposed joints. Fenestration, other than windows and doors, is minimal. Blank wall surfaces make up a lot of the wall area. This section applies to all walls or wall surfaces including gables, exterior walls such as patio, walkway, and garden walls that may or may not support other structures that are visible from a public right-of-way (excluding alleys).

### **Exterior Finish Material**

Acceptable materials include cementitious stucco or synthetic mixtures, for example EIFS (Exterior Insulation Finish Systems), cast sprayed textured or trowel knock down textured finish.

Prohibited materials include exposed unit masonry, stone and brick, metal siding, glass, glass block, glazed curtain walls, split-face block, and vinyl/wood siding.

The exterior finish material on all façades shall be stucco and/or stone veneer, or similar material provided that the material is consistent with the Mediterranean architectural style.

### **Wall Detail**

Wall surfaces shall appear mostly monolithic.

Walls shall be of one predominate color on each structure or part of an articulated mass.

Joints used in stucco to divide the surface and create a paneled or checkerboard pattern are not permitted.

## **MEDITERRANEAN ARCHITECTURAL COLOR**

- Acceptable colors include creams, warm white, and flesh tones, pastels of earth tone colors, rose, peach.
- Unacceptable colors include high intensity colors, metallic's or black.
- All colors will be reviewed on an individual basis. The **Tamiami Trail Architectural Advisory Board** may accept or reject any color submitted.
- The building's exterior, and sign structure, excluding advertising area, shall be colored within the ranges and saturation indicated within the Tamiami Trail Architectural District Color Chart. Trim, doors, shop fronts, window frames and shutters shall be any compatible color indicated on the Tamiami Trail Architectural District Color Chart at any saturation. New buildings in single ownership shall be of uniform façade and trim color unless there are architectural elements such as pilasters or engaged columns or a change in the place of the façade defining the separate tenant spaces. Rental or condo units in existing buildings may be improved subject to this ordinance.

<sup>1</sup>Split Face Block may be used in moderation on a case by case basis.



## Repainting of Existing Buildings

Existing buildings located within the district boundaries, which are to be repainted by the property owner to enhance the buildings appearance, or in association with necessary structural repairs or remodeling, shall be painted in a compatible color indicated on the Tamiami Trail Architectural District Color Chart.

Prior to painting, the property owner, or affirmed representative, shall submit the proposed color scheme to the Department responsible for land development services for review and then approval. Upon approval of the paint scheme by the Planning, Zoning, and Engineering Department Director or designee, a "Certificate of Appropriateness" shall be issued which will allow the painting of the building to proceed.

All colors will be reviewed on an individual basis. Director of the department responsible for land development services or designee may accept or reject any color submitted.



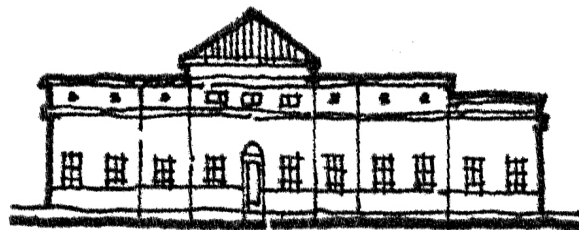
## WINDOWS AND DOORS

Door and window openings are limited, with the exception of ground floor commercial storefronts. French doors or pairs may be used above the first floor at balconies. Windows shall be predominately casement or hung with divided lights. Arched openings with transoms shall be utilized.

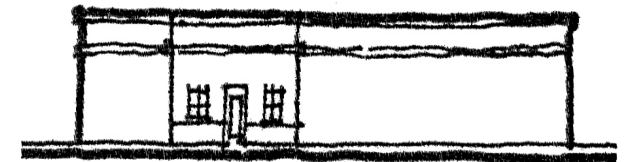
### Openings:

The aggregate area of doors and window openings on any façade shall not exceed 50% of the total façade area (excluding roof).

Door and window openings shall be located at least 2 feet from any outside corner.



Appropriate



Inappropriate

**Window and Door Treatment:**

Windows shall be vertically proportioned.

The use of flanking columns, pilasters, cornices and semi circular or triangular pediments or rusticated blocks is encouraged.

Rectangular or square sashes are required. Divided lites are encouraged on windows other than storefronts.

Unacceptable door and window types include awning and jalousie-type and doors or windows with non-uniform divided lites.

Window and door glass shall be in keeping with the Mediterranean architectural design theme.



**Color:**

All glazing shall be clear or gray tinted.

All stained glass will be reviewed on an individual basis.

All other glazing colors, including mirrored or bronze, are prohibited.



## ARCHITECTURAL TRIM AND ORNAMENTATION

Building decorative trim and ornamentation (predominately non-functional) are important architectural features and contribute to the style. Architectural detail varies greatly in this style and allows for individual expression. Detail design derives from a wide variety of classic revival styles. Other functional treatments including fences and walls, awnings, canopies, shutters, decorative lighting and signage may be required for function of the building, but also present opportunity to enhance the design. All architectural features shall relate to style, have historic precedent and result in an integrated work of architecture as judged by the **Tamiami Trail Architectural Advisory Board.**



Some examples include:

- 1) Door and window trim or molding. Some windows and doorways, especially major entrances, receive elaborate and highly individualized ornament including wall pilasters or columns, capitals with keystones, rusticated blocks and tile.
- 2) Wall ornament and trim may include medallions, niches, bas reliefs and tile and cast stone elements. Scuppers or round vents are often used at gable ends.
- 3) Balconies, of wood and/or iron supported by brackets, corbelled walls and wrought iron trim.
- 4) Embedded painted tiles, especially at wall ornament areas and as a base for walls and windows at ground level. Tile is also used at exterior stairs and patios.
- 5) Awnings may be used, especially at ground level openings at commercial buildings.
- 6) Roof eaves, with exposed rafters and decking are often used. Rafters are sometimes fancy end cut and/or polychrome.

**Location:**

Publicly visible façades must incorporate design elements appropriate to the Mediterranean style, which may include balustrades, columns, pilasters, brackets, spandrels, articulated lintels, niches, quoins, embedded glazed tile or other treatment consistent with the style.

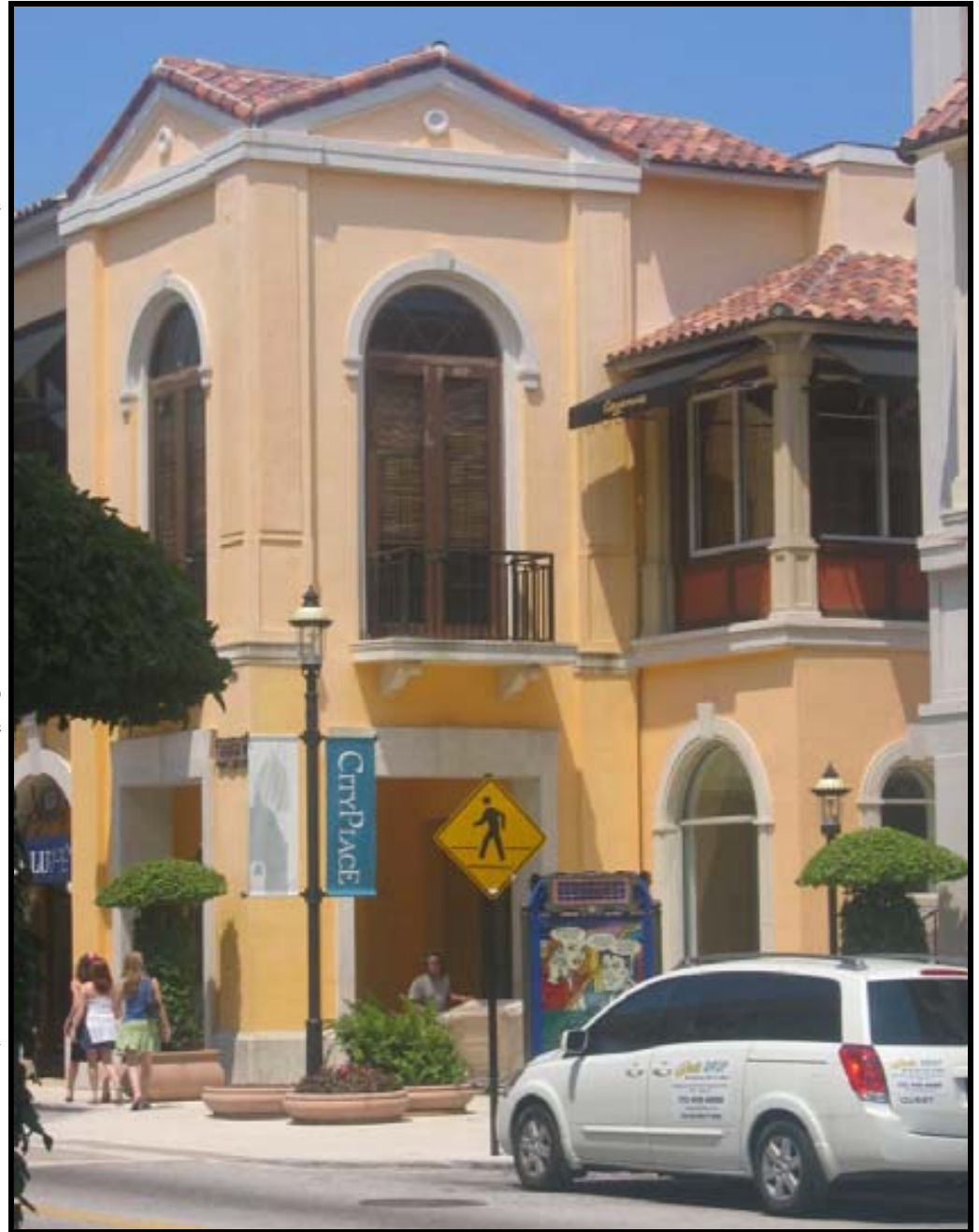
**Material**

Natural materials shall be used, which include but are not limited to stucco, stone or cast stone, wood, iron or steel, or materials that give the same appearance.

Aluminum fabrications, other than storefront entrances or doors, shall be paint finished.

Aluminum and vinyl fascia and soffit shall be permitted.

Prohibited materials include plywood and other sheet materials, siding, and plastics, unless reviewed and approved on an individual basis by the **Tamiami Trail Architectural Advisory Board.**



## Color

All steel and aluminum shall be painted, or anodized.

All wood shall be painted or stained.

Ornament and trim colors shall be compatible and harmonious with the building colors.

High intensity bright and metallic colors are prohibited.

## FENCES AND WALLS

Freestanding stucco walls are permitted. The design and color must be consistent with the building. Gates may be painted or stained wood, iron or painted aluminum fabrication.

Fences and walls are used primarily to add privacy to an outdoor space, to define a property line or define a walkway. Design and materials shall match or directly relate to the Architecture of the building.

Wood fences may only be used in areas not visible from the street.

Unacceptable fence types include split rail, stockade, or similar types.

Chain link fencing and wire may only be used in areas not publicly visible from the street.



## BALCONIES, AWNINGS, CANOPIES, AND SHUTTERS

### **Balconies:**

Balconies, railings, and porch structures shall be in keeping with the Mediterranean architectural design theme.

### **Awnings:**

The appropriate use of awnings on any façade is permitted. Fabric shall be heavy weight canvas or acrylic non-glossy material. Excessively decorated flaps and fringes are not permitted. Lettering or graphics may be applied to the drop leaf or flap only. Awning shape, fabric and framing color and/or pattern shall be compatible with the building design and is subject to review by the Tamiami Trail Architectural Advisory Board.



### **Canopies:**

Canopies are acceptable provided that design, color and location are compatible with the building design and is subject to the recommendation of the Tamiami Trail Architectural Advisory Board and staff approval.

### **Shutters:**

At window and door openings louvered or paneled shutters of wood (or plastic or aluminum fabricated to simulate wood design and proportion) are acceptable provided:

- (a) The total height of shutter(s) is the same as the vertical height of the opening (excluding arch transom or head).
- (b) The total width of shutters at an opening is equal to the width of the opening.



## LIGHTING

Lighting plans for building exteriors shall be submitted showing the elevations and areas to be lighted, including any signage.

The use of appropriate decorative light fixtures on façades is encouraged.

Indirect lighting of the structure shall be permitted. If lighting of signs is proposed, this lighting shall be from the interior of the sign only.

If light sources and fixture(s) are mounted on the building, they shall be kept in Mediterranean style and design.

Building mounted lights shall not be used to light vehicular use areas surrounding the building.

At publicly visible façades, exposed modern surface mounted fixtures are not permitted.

Multicolored, blinking and moving lights are prohibited (excluding holiday lights such as Christmas).



## SIGNAGE

Ground signs shall be in keeping with the Mediterranean architectural design theme with means that said sign shall consist of clearly defined base, column, and capital sections. Tenant information shall be contained within the column portion of the sign only. Signage for recognized franchise businesses will be permitted provided that they adhere to the Mediterranean architectural design theme and all information is located within the column portion of the sign. The top of the sign shall include the address numbers.





Permitted Signs: Monument Signs shall be in keeping with the Mediterranean architectural design theme, which means that said sign shall consist of three clearly defined sections: (a) base, (b) columns, and (c) capital. Tenant information may not exceed the dimensions permissible by the ULDC Sections 29, and shall not project into the column a distance of more than 50% of the column width at the narrowest point of the column.

Height and measurement of sign area shall be in accordance with sign regulations Chapter 29 of the North Port Unified Land Development Code and are not part of the **Tamiami Trail Appearance** petition approval.

Only internally illuminated signs are permitted.

The sign structure, excluding advertising area, shall be colored within the ranges indicated within the Tamiami Trail Architectural Color Chart.

Any sign area with phosphorescence or reflectors that depend upon automobile headlights, or other artificial sources of light, for an image or any sign containing phosphorescent or “DayGlo” fluorescent type of paints or material shall be prohibited. Company logos may use more intense colors, if it is a registered trademark.

Non-Conforming Signs: Existing signs lawfully permitted and installed at any location within the Overlay District that conflict with these specific criteria as a result of the passage of this Ordinance or subsequent amendments, shall be exempt until the sign is altered.

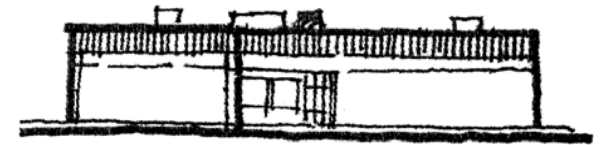
All signage design, including proposed window signage, will be reviewed on an individual basis.

## EXTERIOR EQUIPMENT

All exterior mechanical and electrical equipment shall be fully screened from view from public right of ways. (see example)



Appropriate



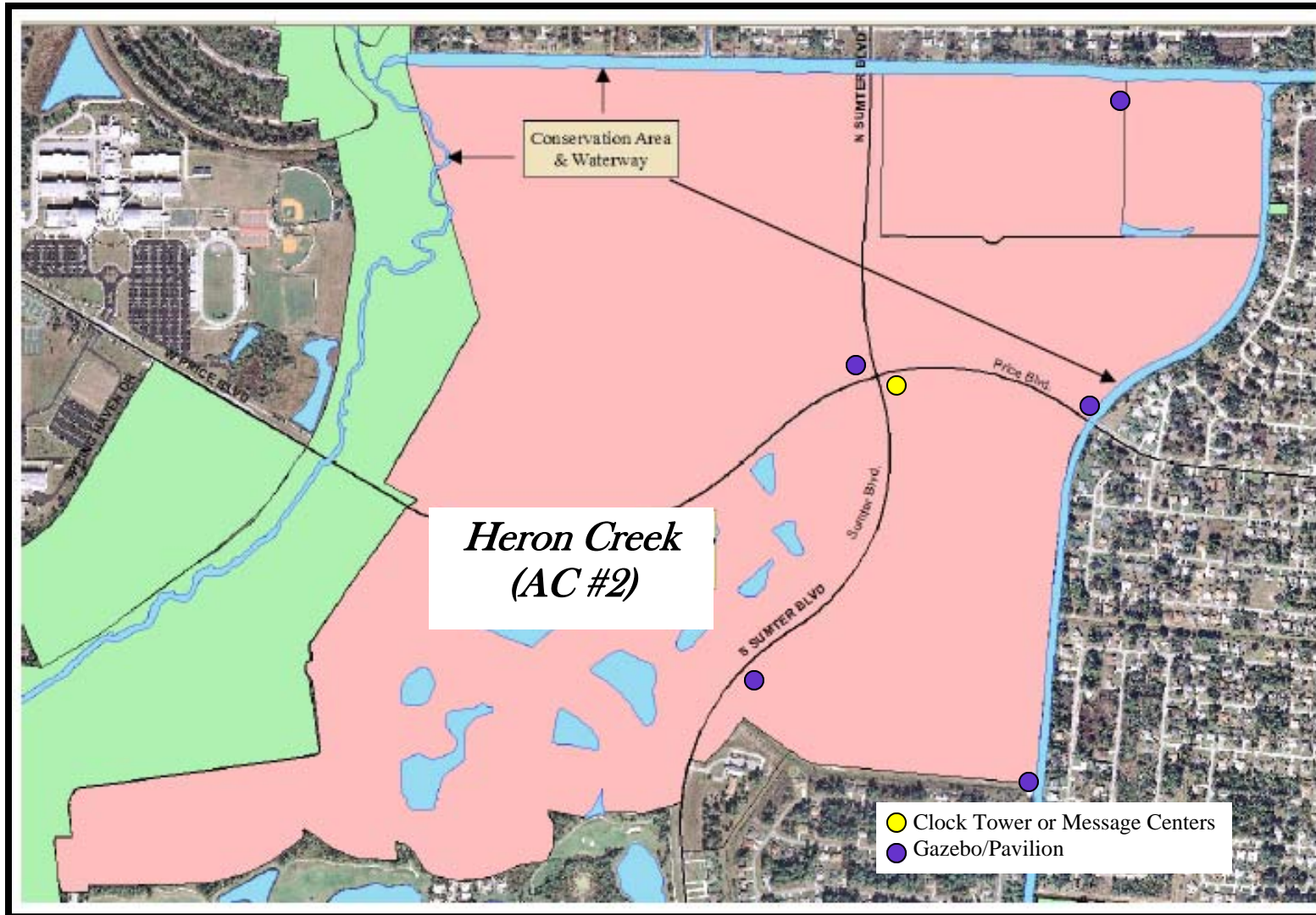
Inappropriate

Dumpster, outside storage and service areas shall be screened from view from public right-of-ways with walls and landscape planting.



# HERON CREEK

# Activity Center #2



All areas located in Heron Creek, (AC #2) shall be regulated by the Heron Creek Pattern Book in conjunction with these Urban Design Standards, the City's Unified Land Development Code and previously approved Development Concept Plan that is in effect.

SNOYER WATERWAY

# CITY CENTER

Scale: 1" = 60'



STH Architectural Group, Inc.  
315 NORTH FLORIDA DRIVE, SUITE 1400  
WEST PALM BEACH, FLORIDA 33411-4339  
Phone: (561) 633-3378  
Fax: (561) 633-4828

City of North Port  
City Hall & Police Station  
North Port, Florida

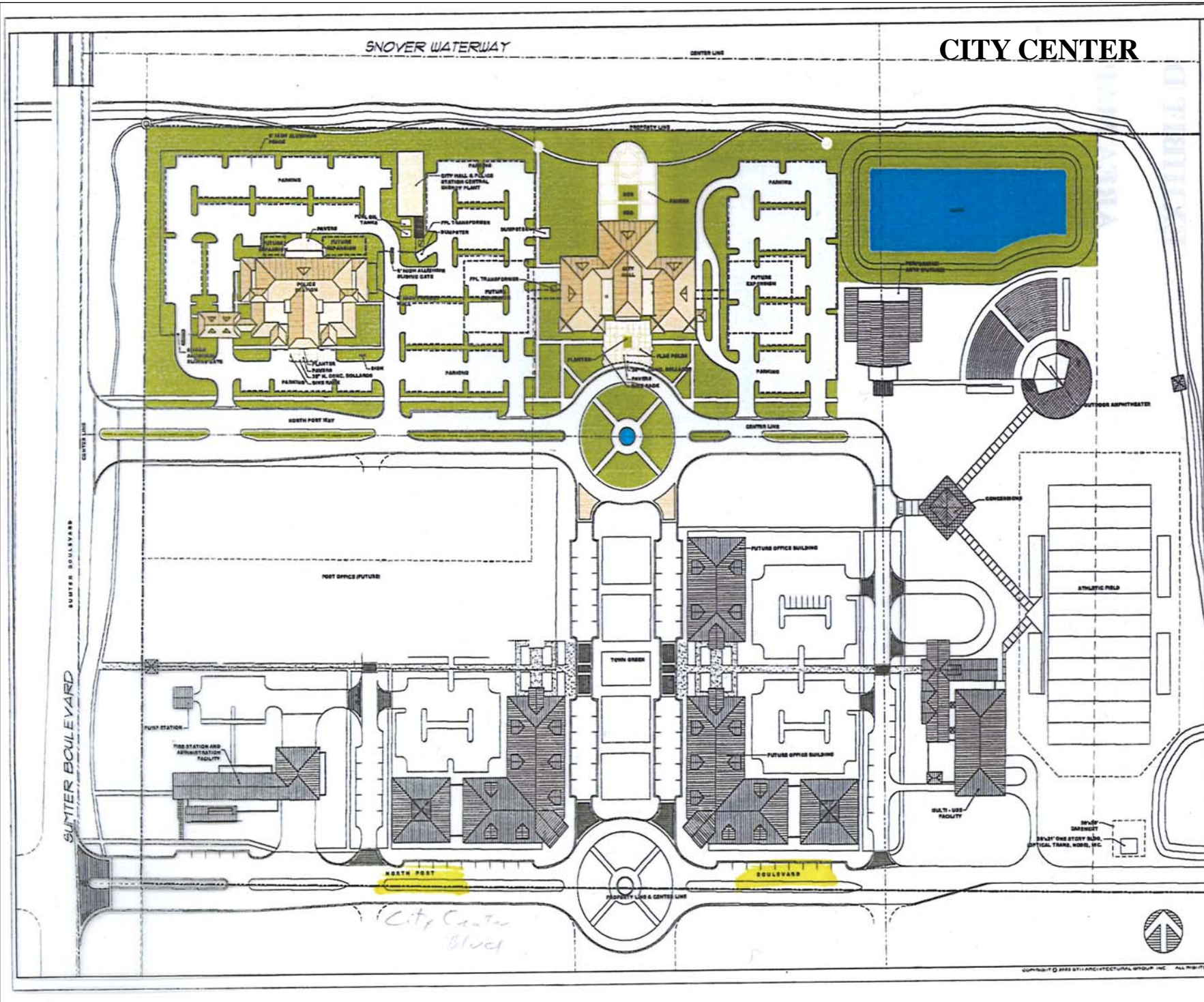
100% Construction Documents  
PROGRESS SET

DATE	
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MASTER PLAN - OVERALL

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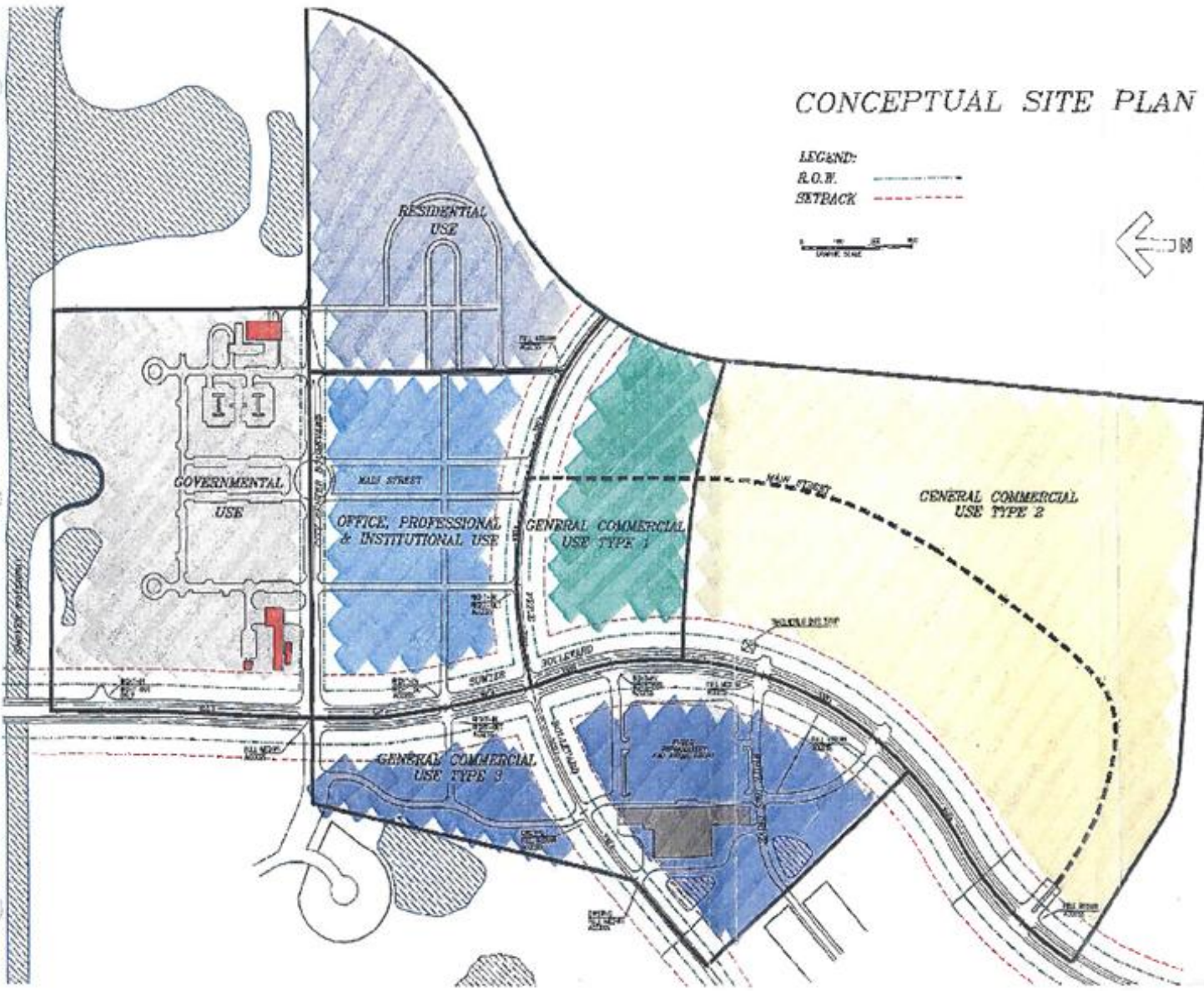


*City Center Blvd*



# CONCEPTUAL SITE PLAN

LEGEND:  
 R.O.W.   
 SETBACK 



- KEY**
-  RESIDENTIAL USE
  -  GOVERNMENTAL USE
  -  OFFICE, PROFESSIONAL INSTITUTIONAL USE
  -  GENERAL COMMERCIAL USE TYPE 1
  -  GENERAL COMMERCIAL USE TYPE 2
  -  GENERAL COMMERCIAL USE TYPE 3

# ***HERON CREEK***

# ***Activity Center #2***

This Activity Center shall be established to provide for governmental, low, medium and high residential densities, offices, commercial and medical facilities. All development within Heron Creek shall be approved for design and development standards prior to construction. All steel and aluminum shall be painted or anodized, all wood shall be painted or stained, ornament and trim colors shall be compatible and harmonious with the building colors. High intensity bright and metallic colors are prohibited. All colors of outside furniture and metal shall be “North Port City Center Green”.

Permitted uses for Heron Creek are listed in Chapter 55 of the Unified Land Development Code. All development within Heron Creek Activity Center shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** NW, SW, NE & SE quads – Mediterranean  
NE City Center quad – Key West

**Private Color:** North Port City Center Green (Pantone 567C)

**Public Color:** North Port City Center Green



Mediterranean



Key West

**Benches** – shall be made of metal with a curved back and slatted as shown. The bench shall be North Port City Center Green.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall be an inverted U. Calculations for the number of bike racks per site may be found in the City's ULDC. One apparatus with multiple U's for at least 4 bikes equals one bike rack as required by the ULDC.



**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design shall be red brick and shall be bordered by a concrete band as shown. The width shall be a minimum of 5 feet. All pedestrian crossings on collector or arterial roadways shall be the City approved design as used on Sumter and Toledo Blade.

**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system shall be installed throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zone, right-of-way or park lands.

**Clock Towers or Message Center** shall be used at strategic locations as identified on the Heron Creek map at the beginning of this section. All metal clocks shall be painted black. Clocks in Heron Creek shall have a rounded top structure with straight-line design with round face and roman numerals as shown. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.



**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

**Minimum Size:** the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

**The Approach:** the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

**The Corral:** a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.

**Fences** shall be consistent with the building design. Stained wood fences may be used in areas not visible from the street, and black decorative wrought iron fences may be used in approved areas. Split rail, stockade, chain link or similar type fencing is prohibited.

**Gazebo/Pavilions** may be used at strategic locations as shown on Heron Creek map. Incorporated within the gazebo shall be a Key West style architecture. The roof shall be metal with vertical lines or a material with similar appearance. Spindled railing shall be used and embellishment shall be minimal. Metal roofs shall be painted “North Port City Center Green”. Landscaping with at least one canopy tree shall be placed around the gazebo/pavilion area.

**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer’s responsibility to maintain all landscaping.



**Lighting** – light poles shall be as shown in figure #1 within the subdivision and shall be painted North Port City Center Green. Lights are to be placed within the development along all roadways, drives and footpaths. If connector or local roadways are designed as part of the development, street lights shall be as shown in figure #2. All pedestrian areas shall maintain a minimum of 0.9 foot candles.



Figure #1



Figure #2

**Outdoor displays** are allowed. All displays must be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building. Auto dealerships are not permitted in this Activity Center.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be utilized to accommodate a seating area. Within this activity center, the open space center court design shall be used, with tables and umbrellas as shown. Seating area shall be bordered by decorative black wrought iron fencing.

**Parking** along Main Street is permitted. Only one row of parking is permitted in the front of each building. Within this activity center buildings shall be placed as close to the front property line as feasible. Calculations for parking requirements are found in the Heron Creek Pattern Book and the Unified Land Development Code.

**Planters** shall be placed along sidewalks and entryways. Planters shall be made of concrete, resin or a material of similar appearance. The planter shall have a maximum height of 2 ft. with a cup shape with decorative design as shown. See chart below for the minimum number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

For each *additional 25 feet two planters are required.*





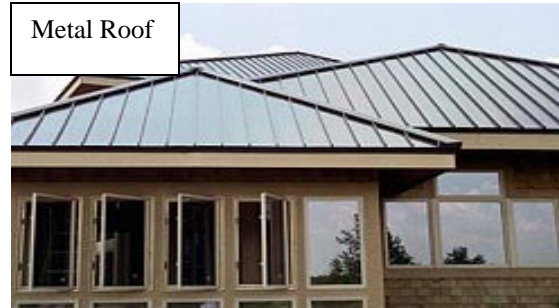
**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

**Roofs** shall be barrel tile with Mediterranean architecture and metal or shingle with Key West architecture or a material with similar appearance. Roof colors shall be neutral and shall coordinate with building. All colors shall be approved by the City.

Tile Roof

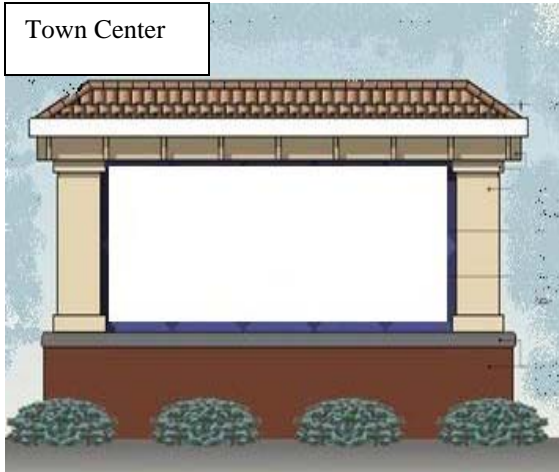


Metal Roof



**Signs** located in this activity center shall be in keeping with the Mediterranean design with columns, a base and capital. All signs located within the City Center of Heron Creek (AC #2) shall have a height limit of 5 feet. Signs located in the NW, SW and SE quadrants of Heron Creek height shall be determined by the Unified Land Development Code. No poles signs are permitted in this Activity Center.

Town Center



City Center



Hanging or vertical signs are permitted in Heron Creek. These signs shall measure a minimum of 8 feet and a maximum of 12 feet above the walking surface as designated in the Heron Creek Pattern Book. The signs shall be a maximum of 9 sq. ft. in size and rectangular in shape. The background color shall be Pantone warm gray 1C with North Port City Center Green (Pantone 567 C) used for the border and lettering. Lettering shall be Times New Roman font. The sign shall be attached with a single arm with top treble clef embellishment as shown. The area of the hanging sign shall be calculated as part of the overall signage allowed.

**Prohibited Signs are as follows:**

- Animated signs (except electronic, digital message boards changing no more than once per hour)
- Signs with visible neon tubing
- Window signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- A-Frame signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except for grand opening with a 14 day limit)

**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park lands, a solid masonry buffer wall shall be used in conjunction with trees placed 30 feet on center. Shrubs shall be planted between the trees to build a continuous hedge. A buffer shall be placed along each property line that abuts differing land uses with shrubs 36 inches in height at time of planting. All shrubs shall be from the approved shrub list below, as dictated by the Heron Creek Pattern Book (see ULDC for buffering requirements).

**Identifying Tree:** Washington Palm

**Tree List**

\* Palms are to be clustered in groups of 5 or more

<i>Street Trees</i>		<i>Shade Trees</i>		<i>* Palm Trees</i>	
Live Oak	12' – 14'	Live Oak	12' – 14'	Washington	12' – 16'
Laurel Oak	12' – 14'	Laurel Oak	12' – 14'	Sabal	12' – 20'
Washington palm	14' – 16'	Red maple	7' - 9'	Paurotis	10' – 14'
Crape Myrtle	9' – 11'	Sweetgum	9' - 11'	Chinese Fan	6' – 12'
		Drake Elm	8' - 10'	Windmill	3' - 6'
		Black Olive	10' – 12'	Needle	2' - 4'
		Buttonwood	8' – 10'		
		Slash Pine	9' – 11'		

*Accent Trees*

*Screening*

Ligustrum Tree	6' – 8'
Crape Myrtle	6' – 8'
East Palatka Holly	6' – 8'
Savannah Holly	6' – 8'
Silver Trumpet	6' – 8'
Goldenrain	8' – 10'
Southern Magnolia	6' – 8'

Dahoon Holly	6' – 8'
Shady Lady	6' – 8'
Weeping fig	6' – 8'
Buttonwood	6' – 8'
Slash Pine	6' – 8'
Bald Cypress	6' – 8'
Oleander	4' – 6'
Podocarpus	4' – 6'

**Shrub List**

*Large*

*Accent*

*Small*

Fakahatchee Grass	2'
Walter's Viburnum	2'
Sandankwa Viburnum	18"
Split leaf Philodendron	18"
Podocarpus	30"
Saw Palmetto	12"
Simpson Stopper	2'
Firebrush	2'
Nora Grant Ixora	2'
Dwarf Oleander	18"
Majestic Beauty	18"

Hibiscus	18"
King Sago	18'
Crinum Lily	2'
Gardenia	30"
Bougainvillea	24"
Bird of Paradise	18"
Variegated Shell Ginger	18"
Heavenly Bamboo	24"
Jatropha	18"
Fountain Grass	24"

Dwarf Yaupon Holly	12
Indian Hawthorn	12"
Muhly Grass	18"
Gamma Grass	18"
Coontie	12"
Maui Ixora	12'
Dwarf Buford Holly	14"
Sand Cordgrass	24"

*Note: Please refer to the Heron Creek Patter Book for the placement of plantings.*

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with Sarasota County Area Transit. Shelters shall be painted "North Port City Center Green" and shall be equipped with lighting, benches, bike racks and water fountains, if water is available. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. The design shall be round with a metal with vertical slats with a top rim for receptacles located in the Town Center and square with horizontal slats and cap in the City Center as shown below. The color shall be North Port City Center Green.



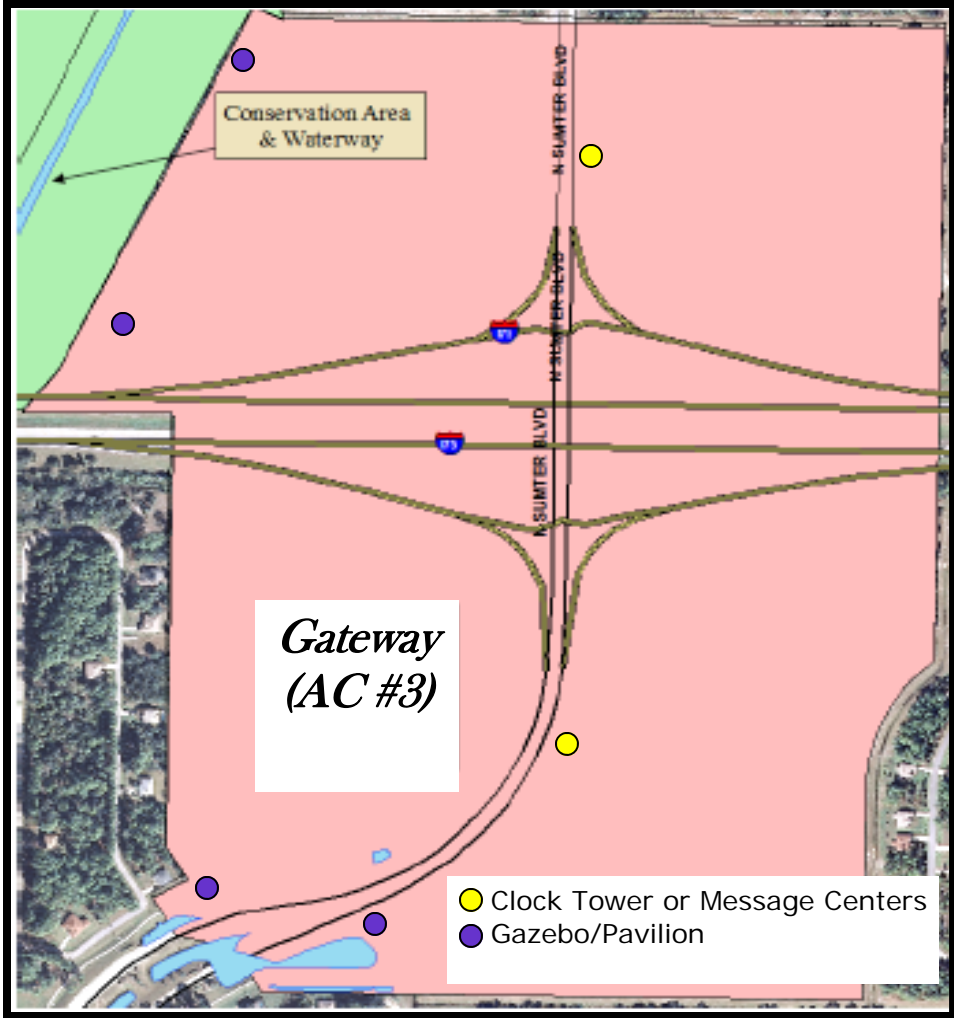
**Utilities** shall be underground.

**Walking trails** shall be incorporated around pond areas and throughout the development to provide pedestrian amenities and transition to sidewalks. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. If all other requirements for pervious surface area are met, walking trails shall be impervious or of a surface to provide effective bicycling.

**Wheel stops** shall be placed in compliance with Chapter 25 of the ULDC.

# GATEWAY

# Activity Center #3



All areas located in Gateway (Activity Center #3) shall be regulated by these Urban Design Standards, the Unified Land Development Code and any approved Development Master or Concept Plan.

# GATEWAY

# Activity Center #3

Gateway (Activity Center #3) includes the area located at I-75 and Sumter Boulevard. This Activity Center is established to provide for lower intensity highway uses such as motels, and restaurants or other highway uses primarily serving interstate commuters, and for economic development. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum shall be painted, or anodized. All wood shall be painted or stained, and ornament and trim colors shall be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. All colors of outside furniture and metal shall be “North Port City Center Green” within the public rights-of-way and “Deep Teal” within the developments, as indicated in the chart on page 6.

*Permitted uses for Gateway are listed in Chapter 55 of the Unified Land Development Code. All development within Gateway shall provide the design elements in a similar style to those listed and shown:*

- Architectural Style:** North Port Neoportian  
**Private Color:** Deep Teal (Pantone 322C)  
**Public Color:** North Port City Center Green (Pantone 567C)



Awnings shall be required over first floor windows and doorways and shall be rounded in shape. Awnings shall be in a contrasting color to the façade upon which it is attached, as shown.

**Benches** – shall be solid molded with a shape as shown and in a coordinating color to the building.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall be multi-hoop with individual parking loops in the style shown. One apparatus for at least four (4) bikes equals one bike rack as required by the ULDC. Calculations for the number of bike racks per site may be found in the City's Unified Land Development Code.



**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. Pavers shall be a symmetrical rustic design as shown and shall be bordered on both sides by concrete strip. The minimum width of the paver crossing shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.



**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system shall be installed throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zone, right-of-way or park lands.

**Clock Towers or Message Centers** shall be used as art and offer a unique design to reflect the Neoportian style and shall be used at strategic locations as identified on the Neoportian map at the beginning of this section. All metal clocks shall be painted a coordinating color to the principal structure. Clock towers in Gateway may have an eclectic design. Style, scale, color and design should work together to enhance the visual impact of the site on which the tower is located. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.



**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

**Minimum Size:** the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

**The Approach:** the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

**The Corral:** a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.



**Fences** shall be consistent with the building design. Decorative black wrought iron fences may be used in approved areas and shall be painted black. Wood, split rail, stockade, chain link or similar type fencing is prohibited.

**Pavilions/Pagodas** may be used at strategic locations as shown on the Neoportian map. The pavilions/pagodas in this Activity Center shall use stretched awning to create an airy feel as shown. Landscaping shall be used to enhance the area and at least one canopy tree shall be placed to provide shading. Awnings shall be in a coordinating color to the principle structure.



**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer's responsibility to maintain all landscaping.

**Lighting** – light poles within the development shall be in the design as shown in Figure 1 below and painted the approved deep teal. Lights are to be placed within the development along all roadways, drives and footpaths. If collector or local roadways are designed as part of a development, street lights shall be as shown in figure 2. All pedestrian areas shall maintain a minimum of .9 foot candles.



Figure 1



Figure 2

**Outdoor displays** are allowed with a Special Exception Permit. All displays must be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. When all setbacks, sight lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area. Seating areas within Gateway shall incorporate umbrellas, attached structural awnings and canopy tree, while using an open courtyard design as shown. Bollards with linked chains shall be used for separation between the dining and sidewalk or right-of-way as shown.



**Parking** calculations are found in Chapter 25 of the ULDC. Only one row of parking is permitted in the front of each building. Consideration will be given for compact cars. Parking lots shall be designed pursuant to the City's Unified Land Development Code Chapter 25.

**Planters** shall have a triangular round design as shown below and shall be placed along sidewalks and entryways. Planters shall be concrete, pottery or a material with similar appearance with no embellishments and multi-color. Maximum height is 3 feet. See chart below for the number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

*For each additional 25 feet two planters are required.*



**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

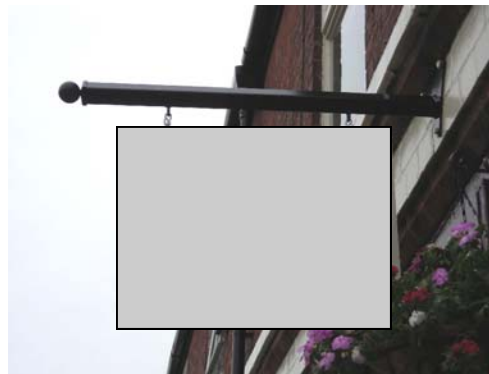
**Roofs** shall be metal or a material with a similar appearance as shown. All colors shall be coordinating with the building and in neutral tones and shall be approved by the City.



**Signs** shall be in keeping with the Neoportian design with smooth lines for definition. All monument signs shall have a base with a rounded top and no top banding and the height shall be pursuant to Chapter 29 of the Unified Land Development Code. No poles signs are permitted in this Activity Center.

**Prohibited Signs are as follows:**

- Animated signs
- Off-site signs
- Signs with visible neon tubing
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- A-frame signs
- Revolving or rotating signs
- Flashing or audible signs



Hanging or vertical signs are permitted in Gateway. These signs shall measure 8 feet above the sidewalk or right-of-way and shall be a maximum of 9 sq. ft. in size. The shape shall be square with no embellishments on the attachment arm. The background shall be Pantone warm grey 1C with Deep Teal (pantone 322 C) used for the lettering. Hanging signs in Gateway shall not use bordering. Lettering shall

be **Forte** font The area of the hanging sign shall be calculated as part of the overall signage allowed for all wall signs.

**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park lands, a solid masonry buffer wall shall be used in conjunction with trees placed 30 feet on center. Shrubs shall be planted between the trees to build a continuous hedge. A buffer shall be placed along each property line that abuts differing land uses with shrubs 36 inches in height at time of planting. All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** Bald Cypress

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with Sarasota County Area Transit. Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains, if water is available. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. The design shall be square with cornice type embellishment as shown with coordinating material and color as the planters.

**Utilities** shall be underground.

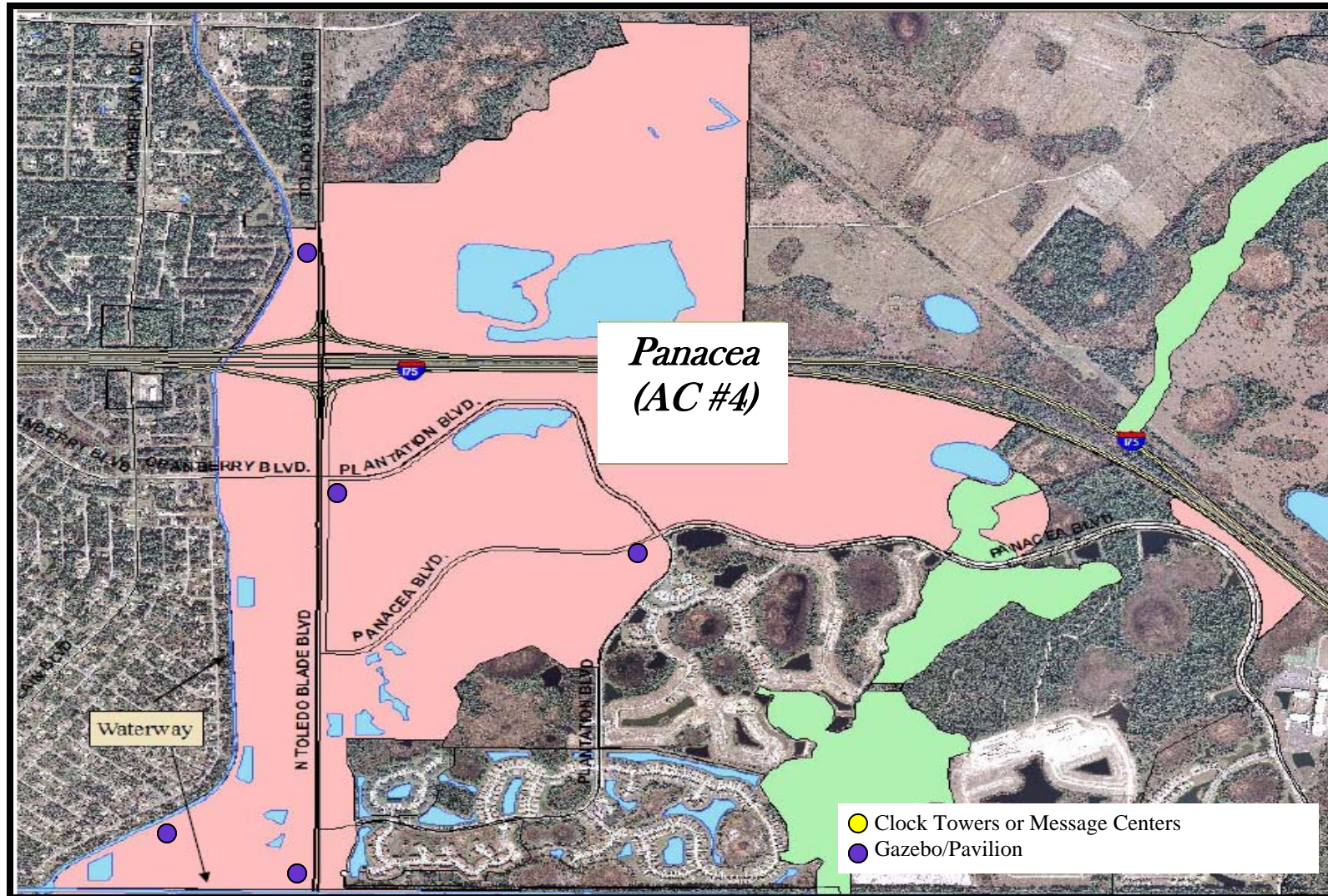
**Walking trails** shall be incorporated around pond areas and throughout the development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. Where all other requirements for pervious surface area are met, walking trails shall be impervious.

**Wheel Stops** shall be placed in compliance with Chapter 21 and 25 of the Unified Land Development Code.



# PANACEA

# Activity Center #4



All areas located in Panacea (Activity Center #4) shall be regulated by these Urban Design Standards, the Unified Land Development Code and any approved Development Master/Concept Plans that are in effect.

# PANACEA

# Activity Center #4

Panacea (A C #4) is the area north of the Snover Waterway along Toledo Blade. It includes the area north of I-75 extending past Tropicare. Its easterly boundary is the platted boundaries for Toledo Place, the Woodlands, and Toledo Village and the westerly boundary is the Creighton Waterway. The Activity Center is established to provide a large concentrated area of a mixture of residential, commercial, office, medical, industrial, recreational and cultural facilities at a scale which serves the entire city, and the regional market due to its proximity to I-75. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum must be painted, or anodized, all wood shall be painted or stained, ornament and trim colors must be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. All colors of outside furniture and metal shall be “North Port City Center Green” within the public rights-of-way and “Brown” within the development.

All development within Panacea shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** NE & NW quads – Southern Small Town  
SW & SE quads – Spanish Mediterranean  
(from I-75 to Corporate extending across Toledo Blade)  
Industrial Park – Corporate Contemporary

**Private Color:**

Brown (Pantone 4715C)

**Public Color:**

North Port City Center Green (Pantone 567C)

Northeast & Northwest  
Quadrants



**Southeast and Southwest Quadrants**  
(Spanish Mediterranean extending east across Toledo Blade, to Snover Waterway)



**Industrial Park**



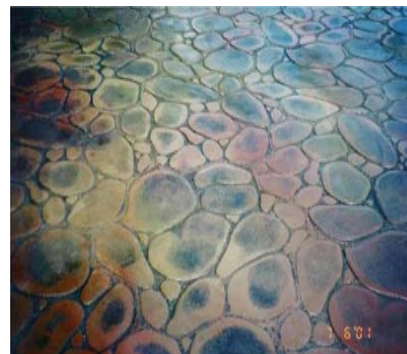
**Benches** – shall be made with wooden slats and without an armrests in a pew design as shown. All wood shall be stained or painted dark brown to match the private color.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall have a half U shape with slots for 4 bikes constituting one bike rack as required by the Unified Land Development Code (ULDC). Calculations for the number of bike racks per site may be found in the City's ULDC.



**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design within this activity center shall be cobblestone as shown. The minimum width shall be 5 feet with concrete banding on both sides. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.





**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zoning, park lands, or R-O-W.

**Clock Towers or Message Centers** shall be used at strategic locations as shown on the Panacea map at the beginning of this section. All metal clocks shall be painted in a coordinating color as the principle building. All clocks within this activity center shall have four (4) faces with Roman Numerals as shown. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.

**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.



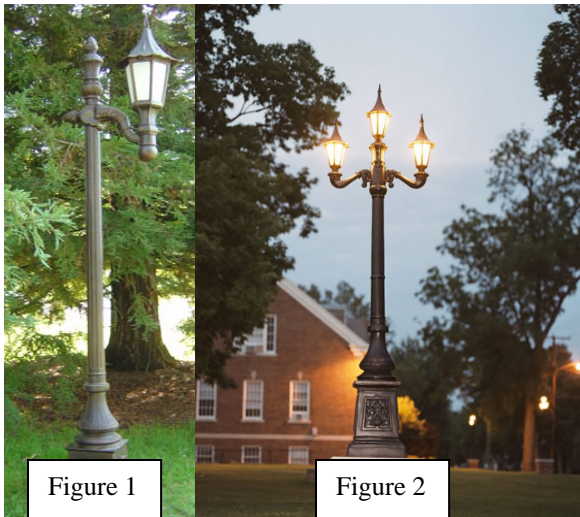
**Fences** shall be consistent with the building design. Decorative wrought iron fencing may be used in approved areas and shall be painted black or approved brown. Wood, split rail, chain link and stockade or similar type fencing is prohibited. Chain link fencing may be used in the industrial area only.

**Gazebo/Pavilions** may be used at strategic locations as shown on the Panacea map. Incorporated within the gazebo or pavilion shall be the Southern Small Town style with hip tin roof and spindled railings as shown. Embellishments shall be minimal. Landscaping with at least one canopy tree shall be placed around the gazebo/pavilion area.



**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer's responsibility to maintain all landscaping.

**Lighting** – lights and light poles shall be as shown in figures 1 & 2 and shall be painted the approved brown within the subdivision. The light shall be shielded in order to stop top spillage. Lights are to be placed within the development along all roadways, drives and footpaths. If collector or local roadways are designed as part of a development, street lights shall be as shown in figure 3. All pedestrian areas shall maintain a minimum of .9 foot candles.



**Outdoor displays** are allowed in all areas except the industrial park. All displays must be harmonious with the architectural design and shall not propose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building except as permitted with automobile dealerships pursuant to Sec. 53-239 (V) of the Unified Land Development Code. All outdoor storage shall adhere to all requirements of the ULDC.



**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. If all setbacks, site lines and safety regulations are followed, the use of widened sidewalks may be used to accommodate a seating area. Development in Panacea activity center shall use flower gardens with canopy trees and benches to distinguish seating areas. The space shall be separated and defined by flower gardens as shown to create a separation between traffic and seating areas. The outdoor seating area should be located within the development site.

**Parking** requirements are found in Chapter 25 of the ULDC. In the NE and NW quadrants of this activity center, street parking is permitted if a street has been designed and approved for it.

**Planters** shall be placed along sidewalks and entryways. Planters shall be open cup with rim design on top and bottom as shown. The maximum height shall be 3 feet. See chart below for the number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

*For each additional 25 feet two planters are required.*

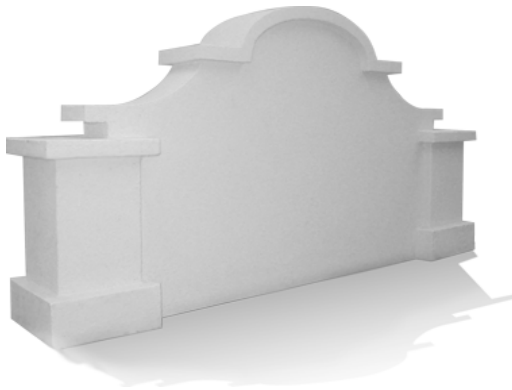


**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

**Roofs** shall be flat or metal with vertical lines or a material with the same appearance as shown. All roof colors shall be complimentary to the overall design of the building and shall be approved by the City.



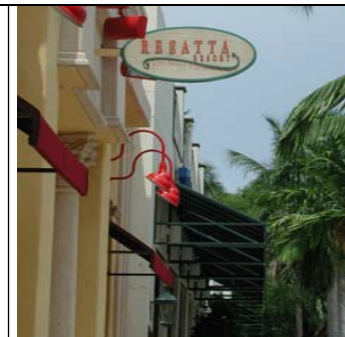
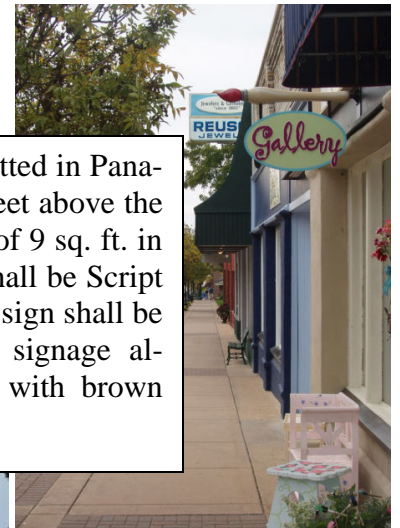
**Signs** shall be in keeping with the Small Town design. All monument signs shall have supporting columns on both sides with capital embellishments as shown. The height and calculation of allowable sign area shall be determined by the Chapter 29 of the Unified Land Development Code. No poles signs are permitted in this Activity Center.



**Prohibited Signs are as follows:**

- Animated signs of any kind
- Signs with visible neon tubing
- Snipe signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Sandwich signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except in grand openings limited to 30 days).

Hanging or vertical signs are permitted in Panacea. These signs shall measure 8 feet above the walking surface, with a maximum of 9 sq. ft. in size and oval in shape. The font shall be Script MT Bold. The area of the hanging sign shall be calculated as part of the overall signage allowed. The shape shall be oval with brown banding color to match lettering.



**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park land, a solid masonry buffer wall in conjunction with trees that are placed 30 feet on center and shrubs planted between the trees to build a continuous hedge shall be planted along each abutting property line. A buffer shall be placed along each property line that abuts differing land uses and shrubs shall be 36 inches in height at time of planting (see ULDC for type of buffer required). All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** Canary Island Date Palm or Phoenix Palm

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with Sarasota County Area Transit. Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. Receptacles shall have a rounded shape with a lip as shown, with coordinating material and color as planter.

**Utilities** shall be underground.

**Walking trails** shall be incorporated around pond areas and within all development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. If all other requirements are met for pervious surface area, walking trails shall be impervious.

**Wheel stops** shall be placed in compliance with Chapter 25 of the Unified Land Development Code.





All areas located in Midway (Activity Center #5) shall be regulated by these Urban Design Standards, the ULDC and any approved Development Master or Concept Plans that are in effect.

# ***MIDWAY***

# ***Activity Center #5***

Midway (AC #5) includes all quadrants located at Price and Toledo Blade Boulevards. The Activity Center is established to provide for commercial, residential densities, motels and industrial uses. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum shall be painted or anodized and all wood shall be painted or stained. Ornament and trim colors shall be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. All colors of outside furniture and metal located within the public rights-of-way shall be “North Port City Center Green” and “red” within the development

All development within Midway (AC #5) shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** Mediterranean Contemporary Style

**Private Color:** Red (Pantone 201C)

**Public Color:** North Port City Center Green (Pantone 567C)



**Benches** – shall be made of resin or a similar material with a smooth mesh design and rounded armrest with split seating as shown. The photo design constitutes 1 bench.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall be U-shaped bollards with at least 4 bollards constituting one bike rack as required by the ULDC. Calculations for the number of bike racks per site may be found in the City's ULDC.

Bike racks shall be painted red within the development and North Port City Center Green in public r-o-w.

**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design shall be a brick as shown. The brick may or may not be bordered by concrete. The minimum width shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.





**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system throughout. Enhanced facade and landscaping is required when development abuts a waterway, residential zoning, park lands, or R-O-W.

**Clock Towers or Message Centers** shall be used at strategic locations as defined on the Midway map at the beginning of this section. All metal clocks shall be painted black or in a coordinating color to the principle building. All clocks within this activity center shall have be two-faced round on a single round pole with top embellishments and a place for the Activity Center name as shown. Clocks shall not be used to advertise individual businesses. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.

**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.



**Fences** shall be consistent with the building design. Decorative wrought iron fences may be used in approved areas and shall be painted black or “North Port City Center Green”. Split rail, stockade, wood and chain link or similar type fencing is prohibited.

**Gazebo/Pagodas** may be used at locations. Within this activity center gazebos with spindled railing and metal roof as shown. Embellishments shall be kept to a minimum and shall be circular as depicted in the photo. Landscaping with at least one canopy tree shall be placed around the gazebo/pavilion area.



**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer’s responsibility to maintain all landscaping.

**Lighting** – lights and light poles in commercial shopping areas shall be as shown in figure 1 and shall be painted the approved deep red, and along local roadways as figure 2. Lights shall be shielded in order to prevent top spillage and shall be placed within the development along all roadways, drives and footpaths. If a collector roadway is designed as part of a development, street lights shall be as shown in figure 3. All pedestrian areas shall maintain a minimum of .9 foot candles.



Figure 1



Figure 2



Figure 3

**Outdoor displays** are allowed. All displays must be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be in a fully enclosed building.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area. This activity center shall use built pedestals with decorative wrought iron railings to distinguish seating area from traffic and to provide safety as shown. Flowers and canopy trees as well as extended cloth canopies shall be used to create a sense of place.

**Parking** along streets that have been designed and approved for this purpose is permitted. Only one row of parking is permitted in front of any building; however buildings are encouraged to be moved to a zero lot line. Consideration for compact cars will be given. Requirements are found in Chapter 25 of the Unified Land Development Code.

**Planters** shall be placed along sidewalks and entryways and shall be the approved deep red color, and may be placed on pedestal used in outdoor seating areas if secured. Planters shall be round with rimming as shown and red in color. The maximum height shall be 2.5 feet. See chart below for the number of planters required.



Building Front measurement	Planters required
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Up to 50 ft	5
51' – 100'	7
101 – 125'	9

*For each additional 25 feet two planters are required.*



**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

**Roofs** shall be barrel tile or a material with the same appearance as shown. All roof colors shall be complimentary to the overall design of the building and shall be approved by the City.



**Signs** shall have supporting columns on both sides with a base. There shall be a capitals on the posts with straight lines and all wording within the perimeters of the posts as shown. The height shall be in conformance to Chapter 29 of the Unified Land Development Code. No poles or hanging/projecting signs are permitted in this activity center.



**Prohibited Signs are as follows:**

- Animated signs of any kind
- Hanging/projecting signs
- Signs with visible neon tubing
- Snipe signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Sandwich signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except in grand openings limited to 14 days.)

**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park land, a solid masonry buffer wall in conjunction with trees that are placed 30 feet on center and shrubs planted between the trees to build a continuous hedge shall be planted along each abutting property line. A buffer shall be placed along each property line that abuts differing land uses and shrubs shall be 36 inches in height at time of planting (see ULDC for type of buffer required). All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** Magnolia (D.D. Blanchard)

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with SCAT. Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains. At least one canopy tree shall be placed at all transit shelters.

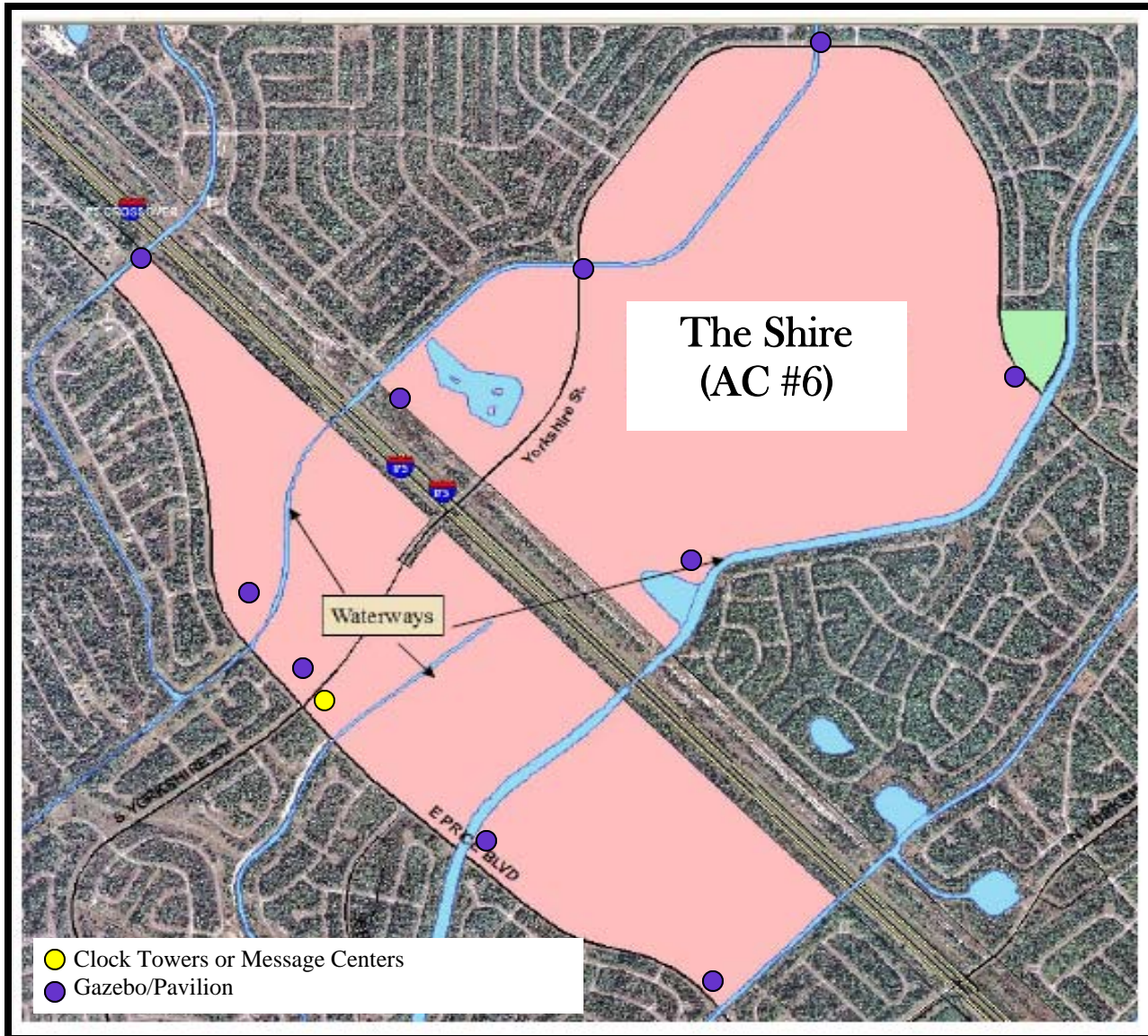
**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. They shall be round with rimming as shown and the designated Panacea red in color.

**Utilities** shall be underground.

**Walking trails** shall be incorporated around pond areas and within all development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. If all other requirements are met for pervious surface area, walking trails shall be impervious.

**Wheel stops** shall be placed in compliance with Chapter 25 of the Unified Land Development Code.





All areas located in The Shire (Activity Center #6) shall be regulated by these Urban Design Standards, the Unified Land Development Code and any approved Development Master or Concept Plan in effect.

# THE SHIRE

# Activity Center

The Shire (Activity Center #6) includes the area located along both sides of I-75 at the south of the City. It is bordered by East Price to the southwest and Yorkshire Street at the northern section, Bethlehem and Cocoplum Waterways to the northwest and southeast respectively. The Activity Center is established to provide for commercial, multi-family residential, light industrial uses. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum shall be painted or anodized and all wood shall be painted or stained. Ornament and trim colors shall be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. All colors of outside furniture and metal located within the public right-of-way shall be “North Port City Center Green” and “deep medium blue” within the development.

All development within The Shire (AC #6) shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** Multi-family residential – Colonial Revival  
Commercial – Corporate Contemporary  
Industrial – Corporate Contemporary

**Private Color:** Deep Medium Blue (Pantone 288C)

**Public Color:** North Port City Center Green (Pantone 567C)



Multi-family residential shall incorporate multiple façade with front porches and railing to create a sense of place for the residents, as shown.



Industrial and Commercial buildings shall consist of glass and stucco or brick combination, with uniformed picture windows.



**Benches** – shall be made of poured concrete. Benches in this activity center shall be in the H-shape design with no back as shown. Medallions may be used as embellishments.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall be bollards with circle parking attachments as shown with enough space between each bar to allow bikes to pull in and be chained at the body. Parking for four (4) bikes will equal one bike rack as required in the ULDC. Calculations for the number of bike racks per site may be found in the City’s ULDC.

**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design shall be a basket weave with a concrete border. The minimum width shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.



**Building height** shall be a maximum of 70feet. If a building is three (3) stories or more, a fire sprinkler system shall be installed throughout. Enhanced façade and landscaping is required when a development abuts a waterway, residential zone, right-of-way or park lands.



**Clock Towers or Message Centers** shall be used at strategic locations as defined by The Shire map. Metal clocks shall have a brushed metal finish, be painted black or in a coordinating color to the principle building. All clocks within this activity center shall have a contemporary design as shown. Wooden, brick or stucco towers are not permitted in this activity center. Clock faces are to be round with numbers or number markers. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.



**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.

**Fences** shall be consistent with the building design. Coated chain link and decorative wrought iron fences may be used in approved areas and shall be painted black. Split rail, wood, stockade or similar type fencing is prohibited.

**Gazebo/Pavilions** shall be used at strategic locations as shown on The Shire map. Within this activity center, pagodas with straight line pyramid posts as shown. The structures are to be left open with a bench/benches placed as shown. Embellishments shall be kept to a minimum. Landscaping with at least one canopy tree shall be placed around the pagoda.



**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer's responsibility to maintain all landscaping.

**Lighting** – lights and light poles shall be as shown in figures 1 within the subdivision and shall be painted approved deep medium blue. The light shall be shielded in order to stop top spillage. Lights are to be placed within the development along all roadways, drives and footpaths. If collector or local roadways are designed as part of a development, street lights shall be as shown in figure 3 & 4. All pedestrian areas shall maintain a minimum of .9 foot candles.



**Outdoor displays** are allowed in all areas except those areas zoned industrial and as permitted with automobile dealerships pursuant to Sec. 53-239(V) of the Unified Land Development Code. All displays shall be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. This activity center shall use water fountains and special features to identify open space and gathering areas and shall use canopy trees and bollards as shown to provide a perimeter barrier between pedestrians and vehicular traffic. Bollards shall be painted approved deep medium blue. Benches shall be utilized to provide adequate seating and canopy trees shall be used to provide adequate shading.



**Parking** requirements are found in Chapter 25 of the ULDC. Consideration for compact cars will be given. Only one row of parking is allowed in front of the building.

**Planters** shall be placed along sidewalks and entryways. Planters shall be round tapered as shown and painted in the color of the activity center with a maximum height of 3.5 feet. See chart below for the number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

*For each additional 25 feet two planters are required.*



**Reflective glass** may not be used on the first floor of any building to prevent glare to vehicular traffic.

**Roofs** shall be metal with vertical lines or shingles or a similar material with the same appearance as the design shown. All roof colors shall be complimentary to the overall design of the building and shall be approved by the City.



**Signs** shall be in keeping with the Contemporary style. All signs shall have clean lines with no base and no embellishments as shown below. The height shall be limited to 5 feet. No poles signs are permitted in this activity center. Hanging or projecting signs are not permitted in this activity center



**Streets trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to waterway or park land, a solid masonry buffer wall in conjunction with trees that are placed 30 feet on center and shrubs planted between the trees to build a continuous hedge shall be planted along each abutting property line. A buffer shall be placed along each property line that abuts differing land uses and shrubs shall be 36 inches in height at time of planting (see ULDC for type of buffer required). All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** East Palatka Holly

**Transit shelters** shall be provided at strategic locations and shall be built according to specifications provided by the City in conjunction with SCAT. Shelters shall be painted “North Port City Center Green” and shall be equipped with lighting, benches, bike racks and water fountains. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. Receptacles shall have a pyramid shape and in the color of the activity center as shown below.

**Utilities** shall be underground.

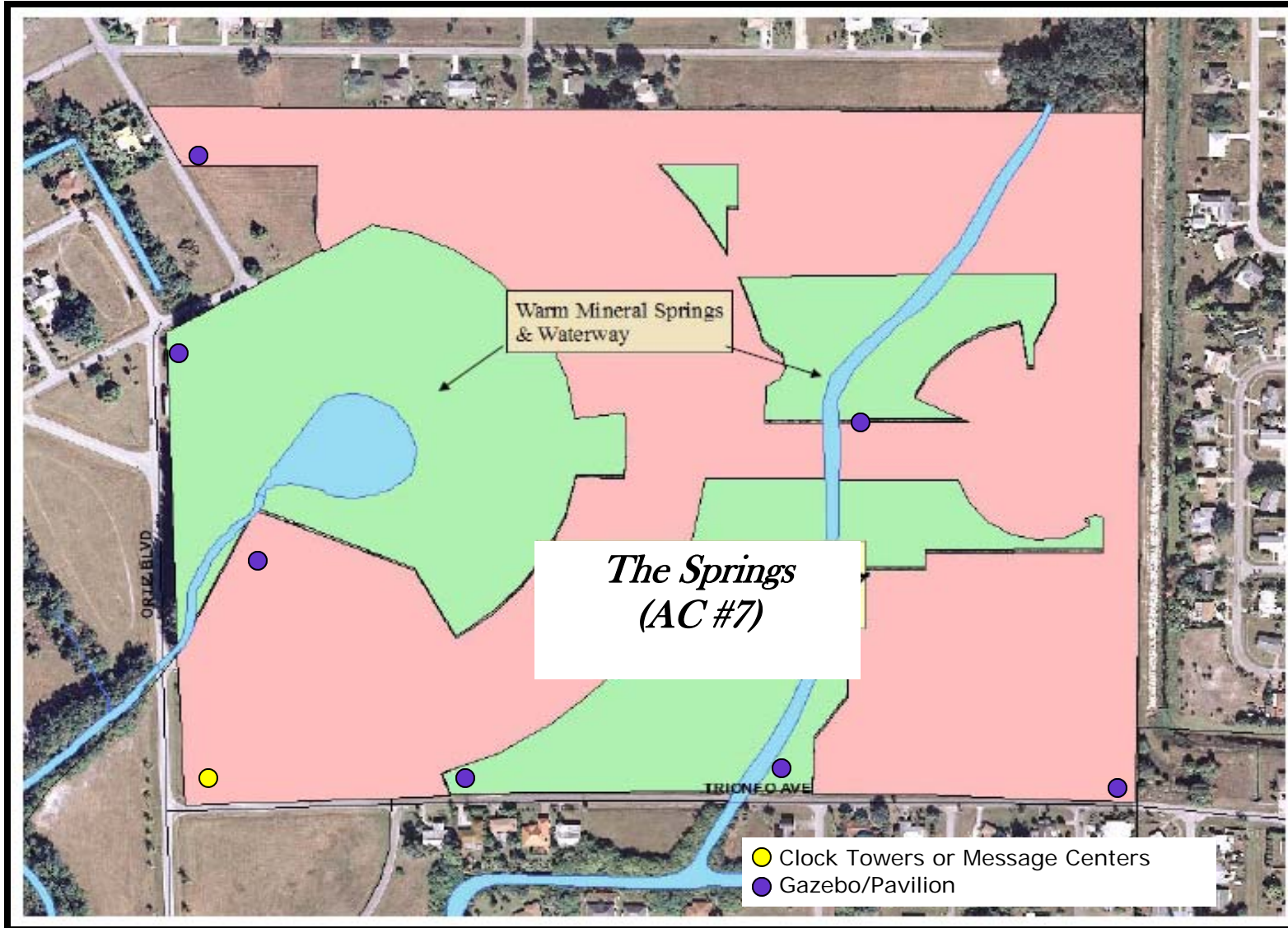
**Walking trails** shall be incorporated around pond areas and within all development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. If all other requirements are met for pervious surface area, walking trails shall be impervious.

**Wheel stops** shall be placed in compliance with Chapter 25 of the ULDC.

**Prohibited Signs are as follows:**

- Animated signs of any kind
- Hanging/Projecting signs
- Signs with visible neon tubing
- Snipe signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Sandwich signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except in grand openings limited to 14 days).





All areas located in The Springs (Activity Center #7) shall be regulated by these Urban Design Standards, the Unified Land Development Code and any approved Development Master or Concept Plan in effect.

# ***THE SPRINGS***

# ***Activity Center #7***

The Springs (A C #7) includes the area located north of Tamiami Trail along Ortiz. This Activity Center shall be established to provide for protection of Warm Mineral Springs while permitting a limited mixture of residential, office, professional, institutional and commercial uses intended to compliment the existing uses of the springs and create an internationally recognized wellness complex. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum must be painted or anodized, all wood must be painted or stained, ornament and trim colors must be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. Colors of all outside furniture and metal shall be “North Port City Center Green” within the public right-of-way and “deep golden yellow” within the development.

All development within The Springs (AC #7) shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** Florida Cracker

**Private Color:** Deep Golden Yellow (Pantone 7407C)

**Public Color:** North Port City Center Green (Pantone 567C)



**Benches** – shall be made of metal or resin or a material with similar appearance. Benches shall have gooseneck armrests. The design shall have embellishments as shown.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall have vertical parking slots with a top and double bottom bar for wheel rests with enough space to allow bikes to pull in and be chained at the body as shown. One apparatus allowing the parking of at least four (4) bikes shall equal one bike rack. Calculations for the number of bike racks per site may be found in the City's ULDC.



**Brick pavers** or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design shall be canyon stone pattern as shown. Crosswalks shall be bordered on both sides by concrete bands. The minimum width shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.



**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system shall be installed throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zone, right-of-way or park lands.

**Clock Towers or Message Centers** shall be used at strategic locations as defined by The Springs map at the beginning of this section. Clocks in this activity center shall be pole clocks with one face clean lines and minimal embellishments as shown. All clocks shall be painted black with round faces and numbers. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.



**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.



**Fences** shall be consistent with the building design. Stained or painted wood fences may be used in areas not visible from the street and decorative black wrought iron fences may be used in approved areas and shall be black in color. Split rail, stockade or similar type fencing is prohibited.

**Gazebo/Pavilions** shall be used at strategic locations as shown on The Springs map. In this activity center gazebos shall have single shingle roofs with topper, and cornice and lattice shall be used as embellishments as shown. Landscaping is to be used and shall include at least one canopy tree to enhance the gazebo area.



**Landscape designs** shall promote the reduction of future maintenance and shall be painted black. It is the developer's responsibility to maintain all landscaping.

**Lighting** – lights and light poles shall be as shown in figures 1 below or of a similar design within the subdivision. Lights are to be placed within the development along all roadways, drives and footpaths. If collector or local roadways are designed as part of a development, street lights shall be as shown in figures 2. All pedestrian areas shall maintain a minimum of .9 foot candles.



Figure 2



Figure 1

**Outdoor displays** are allowed. All displays shall be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area. This activity center shall use flower gardens with canopy trees and benches, as well as tables with umbrellas in an open setting design as shown.



**Parking** calculations for parking requirements are found in Chapter 25 of the ULDC. Consideration will be given for compact cars. Parking shall be at the rear or side of buildings in this activity center. Parking along streets that have been designed and approved for this purpose is permitted.

**Planters** shall be placed along sidewalks and entryways. Planters shall be in a saucer shape as shown, and shall be painted golden yellow color as approved. See chart below for the number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

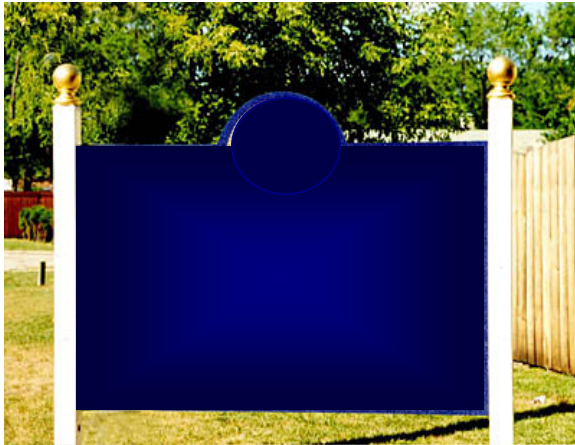
*For each additional 25 feet two planters are required.*



**Reflective glass** may not be used in this activity center.

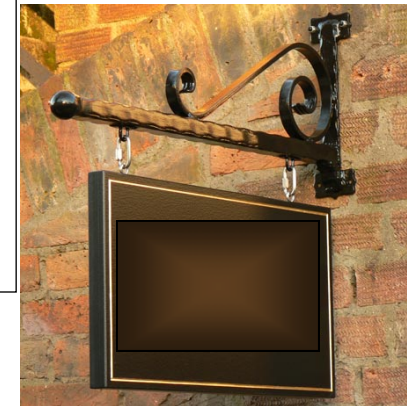
**Roofs** shall be metal with vertical lines or a material with a similar same appearance as shown. All roof colors shall be complimentary to the overall design of the building and shall be approved by the City.

**Signs** shall be in keeping with the Contemporary style. All signs shall have clean lines as illustrated below. The height shall be limited to 5 feet. Signs may be mounted on two posts or a side post with top and bottom braces as shown; however no single center posts are permitted.



**Prohibited Signs are as follows:**

- Animated signs of any kind
- Signs with visible neon tubing
- Snipe signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Sandwich signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except in grand openings limited to 14 days).



**Hanging** or vertical signs are permitted in The Springs. These signs shall measure 8 feet above the sidewalk or right-of-way and shall be 2.5' x 4' with a treble clef embellishment on the attachment arm. The background color shall be Pantone Warm Grey 1C with deep golden yellow outlined in black for the lettering. No border color is to be used. Lettering shall be Lucida Calligraphy font. The area of the hanging sign shall be calculated as part of the overall signage allowed for all wall signs.

**Streets trees** are required along all roadways as regulated in the ULDC. All shrubs shall be 40 inches above street grade when abutting a roadway. Shrubs are to be 36 inches at time of planting in all other areas. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park land, a solid masonry buffer wall in conjunction with trees that are placed 30 feet on center and shrubs planted between the trees to create a continuous hedge shall be used. A buffer shall be placed along each property line that abuts differing land uses (see ULDC for type of buffer required). All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

**Identifying Tree:** Crape Myrtle

**Transit shelters** shall be provided at strategic points and shall be built according to specifications provided by the City in conjunction with SCAT. Shelters shall be painted “North Port city Center Green” and shall be equipped with lighting, benches, bike racks and water fountains. At least one canopy tree shall be placed at all transit shelters.

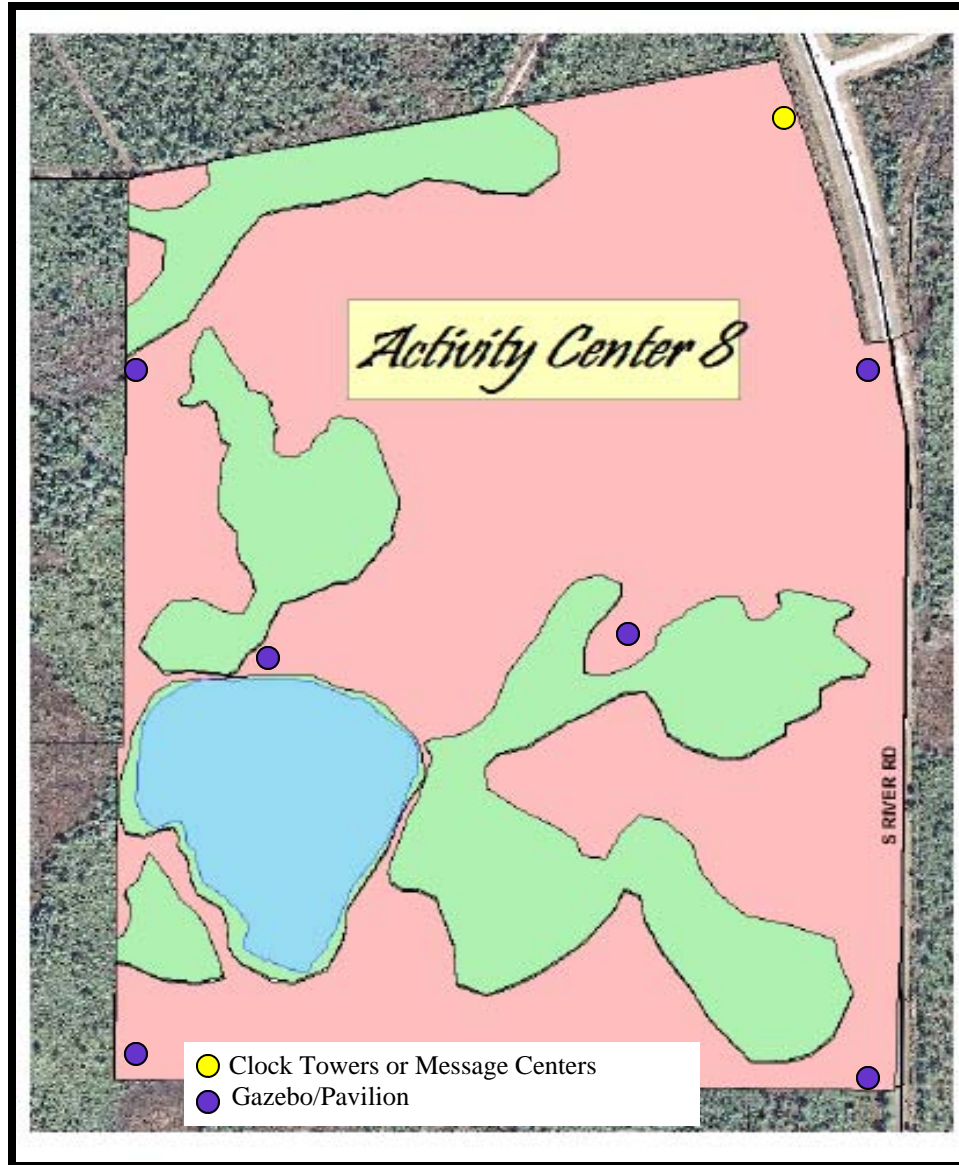
**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. They shall reflect the shape as shown and shall be the same coordinating color as the planters.

**Utilities** shall be underground.

**Walking trails** shall be incorporated around pond areas and throughout the development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. Where all other requirements for pervious surface are met, walking trails shall be impervious.

**Wheel stops** shall be used at all parking spots.





All areas located in The Gardens (Activity Center #8) shall be governed by these Urban Design Standards, the ULDC and any approved Development Master Plan or Concept Plan in effect.

# ***THE GARDENS***

# ***Activity Center #8***

The Gardens AC #8 includes the area located south of Tamiami Trail along River Road. This Activity Center shall be established to provide for a large area of mixed use development, with commercial, office/institutional, light industrial, and residential uses in a Planned Community Development framework. All development in this activity center shall be approved for design and development standards prior to construction. All steel and aluminum must be painted or anodized, all wood must be painted or stained, ornament and trim colors must be compatible and harmonious with the building colors. High intensity, bright and metallic colors are prohibited. All colors of outside furniture and metal shall be “North Port City Center Green” within the public rights-of-way and “Black & White” within the development.

All development within The Gardens shall provide the design elements in a similar style to those listed and shown:

**Architectural Style:** Neoclassical

**Private Color:** Black/White

**Public Color:** North Port City Center Green (Pantone 567C)

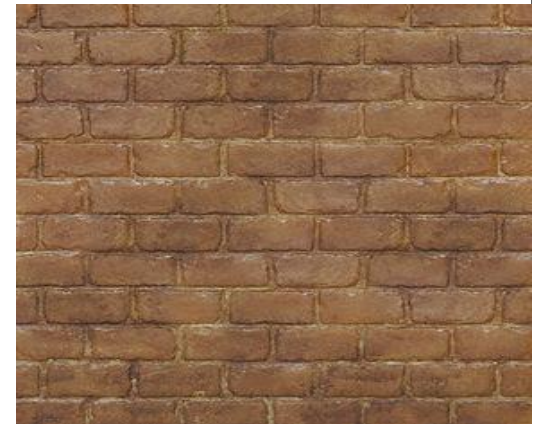


**Benches** – shall be made of metal and wood or a material with similar appearance. The style shall be slatted in a pew design with contoured seating as shown. All metal shall be painted black and all seating area shall be painted white. Benches shall have gooseneck arm rests.



**Bike Racks** - at least one bike rack shall be provided per development site. Bike racks shall be a nostalgia in nature as shown with spaces for at four (4) bikes constituting a single rack as required by the ULDC. Calculations for the number of bike racks per site may be found in the City's ULDC. Bike racks in this activity center shall be painted black.

**Brick Pavers**, or stamped concrete shall be used for all pedestrian crossings, both internal and external to the site. The design shall be antique cobblestone as shown. The minimum width shall be 5 feet.



**Building height** shall be a maximum of 70 feet. If a building is three (3) stories or more, a fire sprinkler system shall be installed throughout. Enhanced façade and landscaping is required when development abuts a waterway, residential zone, right-of-way or park lands.

**Clock Towers or Message Centers** shall be used at strategic locations as defined by The Gardens map at the beginning of this section. This activity center shall be defined with clock towers with the same architectural style as the primary building. It shall be square in design and incorporated rounded columns whenever possible. The tower may be constructed of brick, wood or stucco. All clock faces shall be round. If a message center is used, the design and style shall be the same as the monument signs permitted in the Activity Center. The Message Center shall not exceed 8 feet in height and shall have a sign area of 16 sq. ft., which may be electronic and message changing shall be regulated by Unified Land Development Code. The sign shall be painted the private color of the Activity Center.

**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

Minimum Size: the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

The Approach: the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

The Corral: a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck unobstructed access. The entire corral, including a gate, must be a material that is opaque.





**Fences** shall be consistent with the building design. Wood, split rail, and decorative wrought iron fences are permitted in approved areas and shall be painted black or white; however, no fence shall use colors in combination. Stockade, chain link or similar type fencing is prohibited.

**Gazebo/Pavilions** may be used at strategic intersections as shown on The Gardens map. In this activity center gazebos shall have single shingle roofs. Embellishment shall be placed at all poles. Round support columns shall be used to reflect the overall architectural style of The Gardens. Landscaping and at least one canopy tree shall be placed around the gazebo/pavilion area.



**Landscape designs** shall promote the reduction of future maintenance and shall be in compliance with the Unified Land Development Code. It is the developer's responsibility to maintain all landscaping.



Figure 1



Figure 2

**Lighting** –Lights and light poles shall be as shown in figures 1 & 2 or of a similar design within the subdivision and shall be painted black. The light shall be shielded in order to stop top spillage. Lights are to be placed within the development along all roadways, drives and footpaths. If collector or local roadways are designed as part of a development, street lights shall be as shown in figures 3. All pedestrian areas shall maintain a minimum of .9 foot candles.



Figure 3

**Outdoor displays** are allowed. All displays must be harmonious with the architectural design and shall not impose pedestrian or traffic hazards. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited. All storage shall be within a fully enclosed building.

**Outdoor seating areas** shall be incorporated within the site to create assembly areas for pedestrians whenever possible. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area. This activity center shall use flower gardens with canopy trees and benches to create public space.

**Parking** along a street designed for this purpose is permitted. Calculations for parking requirements are found in Chapter 25 of the ULDC. Consideration will be given to compact cars. Only one row of parking is permitted at the front of the building.



**Planters** shall be placed along sidewalks and entryways and shall be natural concrete color. Planters shall have an urn design as shown with a maximum height of 3 feet. See chart below for the number of planters required.

Building Front measurement	Planters required
Up to 50 ft	5
51' – 100'	7
101 – 125'	9

*For each additional 25 feet two planters are required.*



**Reflective glass** is not permitted in any building in this activity center to prevent glare to vehicular traffic.

**Roofs** shall be shingle or a similar material with the same appearance. All roof colors shall be complimentary to the overall design of the building and shall be approved by the City.



**Signs** shall be in keeping with the Contemporary style. All signs shall have clean lines as illustrated below. The height shall be limited to 5 feet. Signs shall use rounded columns to reflect the architectural style of the activity center. No poles signs are permitted in this Activity Center.



**Prohibited Signs are as follows:**

- Animated signs of any kind
- Signs with visible neon tubing
- Snipe signs
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Sandwich signs
- Revolving or rotating signs
- Flashing or audible signs
- Banners (except in grand openings limited to 14 days).

**Hangings** signs may be used in this activity center. The signs shall be 8 feet above the sidewalk and round in shape as shown. The sign area shall not exceed 9 square feet. The shape shall be round with the attachment arm in the design as shown. The background shall be white with black block lettering. The area of the sign shall be calculated as part of the overall signage allowed for all wall signs.

**Street trees** are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Shrubs are to be 36 inches at time of planting in all other areas. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park land, a solid masonry buffer wall in conjunction with trees that are placed 30 feet on center and shrubs planted between the trees to create a continuous hedge shall be used. Where a development is along the springs, tree clusters shall be used to create a buffer of 10 feet in width. A buffer shall be placed along each property line that abuts differing land uses (see ULDC for type of buffer required).

**Identifying Tree:** Red Maple

**Transit shelters** shall be provided at strategic points and shall be built according to specifications provided by the City in conjunction with SCAT. Shelters shall be painted “North Port city Center Green” and shall be equipped with lighting, benches, bike racks and water fountains. At least one canopy tree shall be placed at all transit shelters.

**Trash Receptacles** shall be placed at all door entries and next to each pedestrian bench. They shall be rounded with embellishments as shown with color and material to coordinate with the planter.

**Utilities** shall be underground.

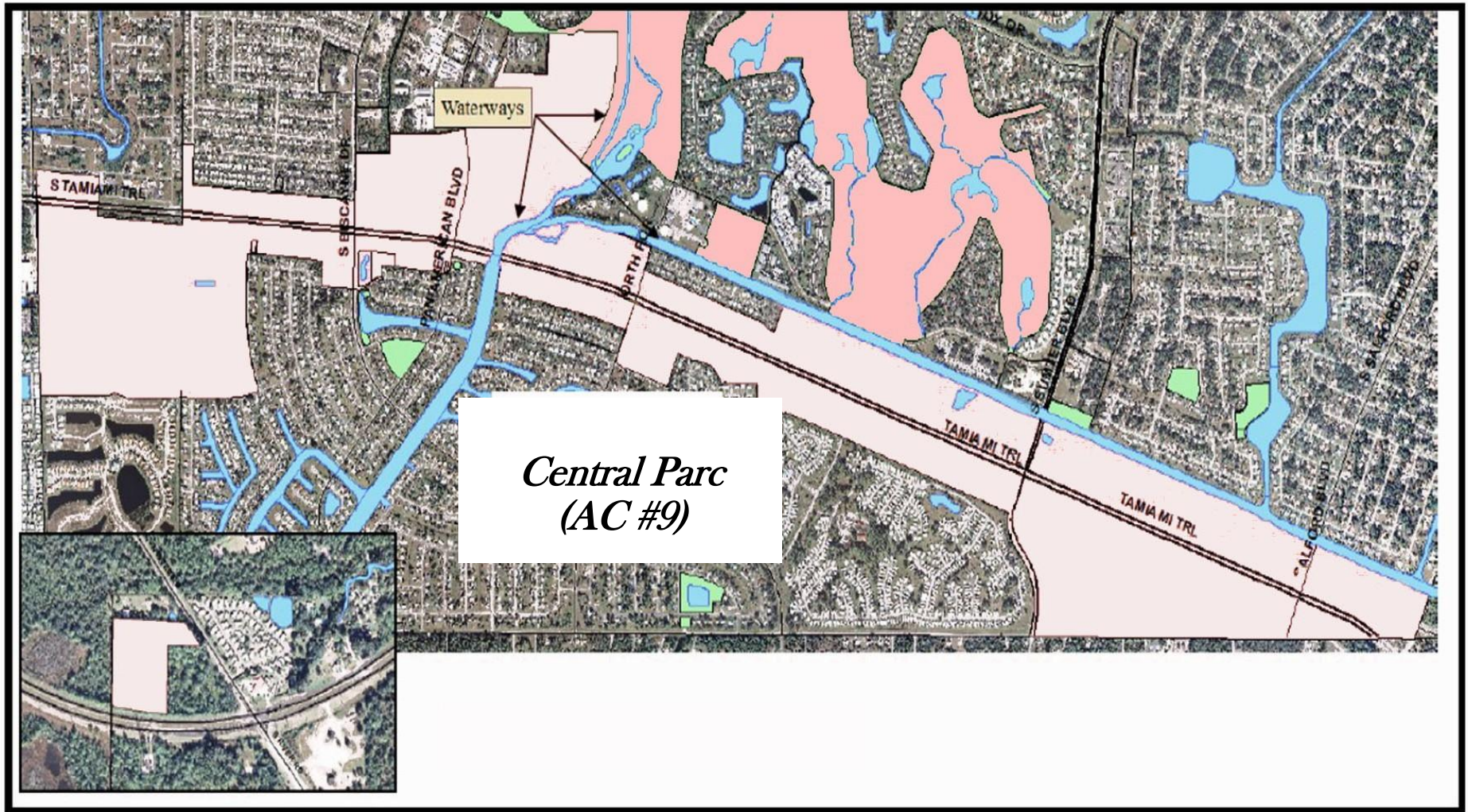
**Walking trails** shall be incorporated around pond areas and within the development to provide pedestrian amenities and transition to sidewalk areas. There shall be a continuous connection to allow pedestrian traffic to transition between all areas of the development. Where all other requirements for pervious surface area are met, walking trails shall be impervious.

**Wheel stops** shall be place in compliance with chapter 25 of the ULDC.



# CENTRAL PARC

# Activity Center #9



All areas identified shall be designated Central Parc (Activity Center #9), present and future, and shall be regulated by these Urban Design Standards, the Unified Land Development Code, and any approved Development Master or Concept Plan in effect. All roadway cuts that intersect with public rights of way shall be approved by the City of North Port.

# *CENTRAL PARC*

# *Activity Center #9*

This Activity Center was established to provide for retail, residential, office, and commercial uses. It is located north of US 41 along Greenwood Avenue. All steel and aluminum shall be painted, or anodized, all wood shall be painted or stained, ornament and trim colors shall be compatible and harmonious with the building colors. High intensity bright and metallic colors are prohibited. Private colors within a development shall be “Terra Cotta” as indicated in the chart on page 6. The color of all outside furniture and metal located in this activity center shall be “North Port City Center Green”.

Permitted uses for Central Parc are listed in Chapter 55 of the Unified Land Development Code. All development within the Mixed Use Development Areas in Central Parc shall provide the design elements in a similar style to those listed and shown:

Architectural Style: Mediterranean

Private Color: Terra Cotta (Pantone 1605C)

Public Color: North Port City Center Green (Pantone 567C)



**Benches** – shall be made of metal with a curved back with similar embellished design as shown. The bench back and seat shall be connected with gooseneck armrests.



**Bike Racks** - at least one bike rack shall be provided per development site and shall be rounded corner rectangular as shown. Slots for 4 bikes shall constitute one bike rack as required by the Unified Land Development Code. Calculations for the number of bike racks per site may be found in the City's ULDC.

**Brick pavers** or stamped concrete shall be used for all pedestrian crossings both internal and external to the site and shall be in a herringbone pattern. The design shall be red brick bordered by concrete bands as shown. The minimum width shall be 5 feet. All pedestrian crossings on collector or arterial roadways shall be City approved design as used on Sumter and Toledo Blade.



**Building height** shall be a maximum of 35 feet. (Except that senior living facilities shall have a maximum height of 50 feet). Enhanced façade and landscaping is required when development abuts a waterway, residential zoning, park lands, or R-O-W.

**Dumpsters areas** shall be built to Public Works specifications, shielded from public view and screened with landscape plantings.

**Minimum Size:** the corral pad must be constructed of concrete four inches thick, inclined from front to back to allow water run off (one inch in twelve feet) with minimum interior dimensions of the corral twelve by fourteen feet exclusive of any posts or bumpers. The length of the largest dumpsters is ten feet. That requires a minimum of 12 feet from any interior post or bumper to the closed gate. Tenants can then gain 360E access to the dumpster to fill it equally.

**The Approach:** the approach to the pad must be a hard surface to support the weight of a 25,000+ pound truck. The approach elevation must be nearly level to allow alignment and meshing of the truck and the dumpster. Ideally, a turnaround area for the truck would be provided so the final approach to the pad to be straight for at least 30 feet. This would also prevent excess moving of the truck that can damage non-concrete road surfaces.

**The Corral:** a solid masonry wall will enclose the dumpster pad, minimum six feet high on three sides, with the gate at the front. The front gate must be a double gate, the width of the corral frontal area, minus required structural supports on the sides. The front gate shall have no center gate support to impede access to the dumpster. The most successful designs incorporate anchor or hurricane fence gates regardless of the side material. This gate design would allow the truck an unobstructed approach. The entire corral, including a gate, must be a material that is opaque.



Fences shall be consistent with the building design. Stained wood and coated chain link fences may be used in areas not visible from the street and black decorative wrought iron fences may be used in approved areas. Split rail, stockade or similar type fencing is prohibited.

Landscape designs shall promote the reduction of future maintenance. It is the developer's responsibility to maintain all landscaping.

Lighting – light poles shall be as shown in figure #1 and shall be painted North Port City Center Green within the development. Lights are to be placed within the development along all roadways, drives and footpaths. If connector or major local roadways are designed as part of a development, street lights shall be as shown in figure #2. All pedestrian areas shall maintain a minimum of 0.9 foot candles.



Figure #1



Figure #2

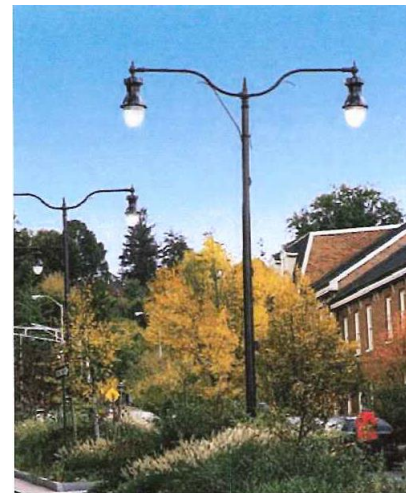


Figure #3

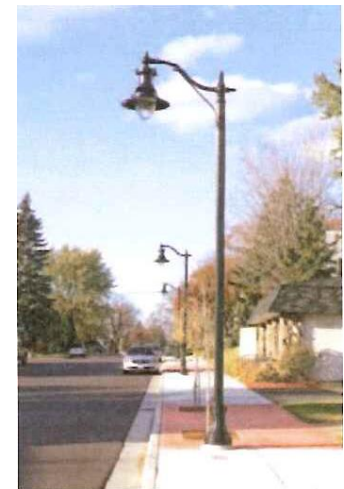


Figure #2

**Outdoor displays** are allowed with a Special Exception permit. All displays must be harmonious with the architectural design and shall not impose a pedestrian or traffic hazard. No display shall block pedestrian passage along any sidewalk.

**Outdoor sales and storage** are prohibited except as provided. All storage shall be within a fully enclosed building. Outdoor vehicle and boat storage as an accessory use to a mini storage facility shall be underneath a fixed roof that meets the design requirements of this Activity Center.

**Outdoor seating areas** shall use the courtyard approach and shall use a courtyard setting with canopy trees as shown. If all setbacks, site lines and safety regulations are followed, the use of a widened sidewalk may be used to accommodate a seating area.



**Parking** requirements are found in Chapter 25 of the City's ULDC.

**Planters** shall be placed along sidewalks and entryways in the Mixed Use Development Areas. Planters shall be made of concrete or of a material with similar appearance and shall be terra cotta in color. The planter shall have a maximum height of 2 feet and have a rounded bowl shape with a base as shown below. See chart below for the minimum number of planters required.

Building Front horizontal measurement	Planters required
Up to 50 ft	2
51' – 100'	4
101 – 125'	5

*For each additional 25 feet one planter is required.*



Reflective glass may not be used on the first floor of any building to prevent glare to vehicular traffic.

Roofs shall be barrel tile design or metal roof as designated per AC #1 Architectural Guidelines.



Signs shall be in keeping with the Central Parc Architectural Guidelines with columns, a base and capital with wording between columns. Calculations for sign faces are found in the City's Unified Land Development Code. The height of freestanding signs in Central Parc (Activity Center #9) is limited to a maximum of 25 feet.



Hangings signs are permitted with the bottom of the sign measuring a minimum of 8 feet above the sidewalk. The sign shall be oval in shape with a background color of Pantone warm gray 1C with terracotta color (Pantone 1605C) lettering and border. The lettering shall be Block. The sign shall be attached with a single arm with scroll embellishment as shown with a sign area not to exceed nine square feet.



**Prohibited Signs are as follows:**

- Animated signs
- Signs with visible neon tubing
- Bench signs
- Obscene signs
- Roof signs
- Painted wall signs
- Portable changeable copy signs
- Balloons of all types
- Revolving or rotating signs
- Flashing or audible signs

Streets trees are required along all roadways as regulated in the ULDC, Chapter 45. All shrubs shall be 40 inches above street grade when abutting a roadway. Where a commercial development abuts a residential neighborhood and not adjacent to a waterway or park lands, a solid masonry buffer wall shall be used in conjunction with trees placed 30 feet on center. Shrubs shall be planted between the trees to build a continuous hedge. A buffer shall be placed along each property line that abuts differing land uses with shrubs 36 inches in height at time of planting. All shrubs shall be from the approved shrub list in Chapter 21 of the ULDC.

Identifying Tree: Black Olive

Trash Receptacles shall be placed at all door entries and next to each pedestrian bench. The design shall be rounded and in a coordinating pattern, color and material as the planters to enhance visual impact throughout the Activity Center. See examples below.



Utilities shall be underground.

Wheel stops shall be placed in compliance with Chapter 21 and 25 of the Unified Land Development Code.

## GLOSSARY

*Mediterranean Architectural Style* - Shall include styles variously described as “Spanish Revival”, “Mediterranean Revival”, “Italian Romanesque” that are reflective of Florida’s history.

*Substantial Improvements* – Any reconstruction, rehabilitation, addition, or other improvement of a structure or sign, the cost of which equals or exceeds fifty (50) percent of the assessed value of the structure and replacement value of the sign before the start of construction of the improvement.

*Assessed Value* – Shall be the assessed value of a structure as determined by the Sarasota County Property Appraiser’s Office.

*Articulation* – The articulation of a building reveals how the parts fit into the whole by emphasizing each part separately. Through degrees of articulation, each part is united with the whole work by means of a joint in such a way that the joined parts are put together in styles ranging from exceptionally distinct joining to the opposite of high articulation-fluidity and continuity of joining.

*Balustrade* An entire railing system with top rail and balusters.

*Bracket* – A decorative or weight bearing structural element, two sides of which form a right angle with one side against a wall and the other under a projecting surface, such as an eave or bay window.

*Canopies* - Metal or wood structures suspended from the face of the building by iron rods, steel brackets or chain.

*Capital* – Forms the crowing member of a column or pilaster.

*Colonnade* A range of columns, whether attached or separated, and supporting an entablature.

*Column* A vertical support, generally consisting of a base, shaft and capital.

*Corbel* – A piece of stone jutting out of a wall to carry any superincumbent weight.

*Cornice* The horizontal band or projection that crowns a wall or architectural feature; the crowning portion of the entablature.

*Elevation* A two-dimensional representation or drawing of the exterior front, side or rear of a building or structure.

*Facade* The front or other prominently visible elevation of a building which is given special architectural treatment.

*Fenestration* - Products that fill openings in a building envelope, such as windows, doors, skylights, curtain walls, etc, designed to permit the passage of air, light, vehicles, or people.

*Keystone* The central or highest stone of an arch, sometimes sculptured.

*Lintel* The horizontal pieces over the opening of a door or window.

*Medallion* A circular tablet, ornamented with embossed or carved figures or patterns.

*Molding* The contour given to projecting members to introduce varieties of outlines in edges or surfaces.

*Muntin* The small members that divide glass in a window frame; vertical separators between panels in a panel door.

*Niche* A cavity in a wall, to receive a statue or other ornament.

*Parapet* The portion of wall above the roof of a building.

*Paterae* Flat, circular ornaments which resemble the classical saucers used for wine in sacrificial libations.

*Pediment* A triangular piece of wall above the entablature, which fills in and supports the sloping roof.

*Pilaster* A rectangular or round pillar projection from the wall with the same proportions and details as the order in which it is used.

*Plan* The representation or round pillar projection from the wall with the same proportions and details as the order in which it is used.

*Porte Cochere* Carriage porch large enough to let a vehicle pass through.

*Portico* The space enclosed within columns and forming a covered ambulatory; a colonnade.

*Quoins* Cornerstones which form the corner of a building, often distinguished decoratively from adjacent masonry.

*Relief* Carving raised above a background plane, as in *bas relief*.

*Renovate* To refresh; revive.

*Restore* To bring back to a former or normal condition, as by repairing, rebuilding, altering, etc.

*Rustication* A method of forming stonework with recessed joints and smooth or roughly textured block faces.

*Spandrel* The sometimes ornamented space between the top sides of an arch and an enclosing right angle molding or structure.

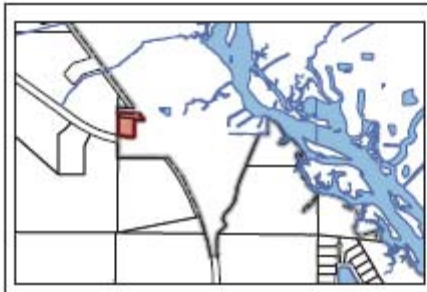
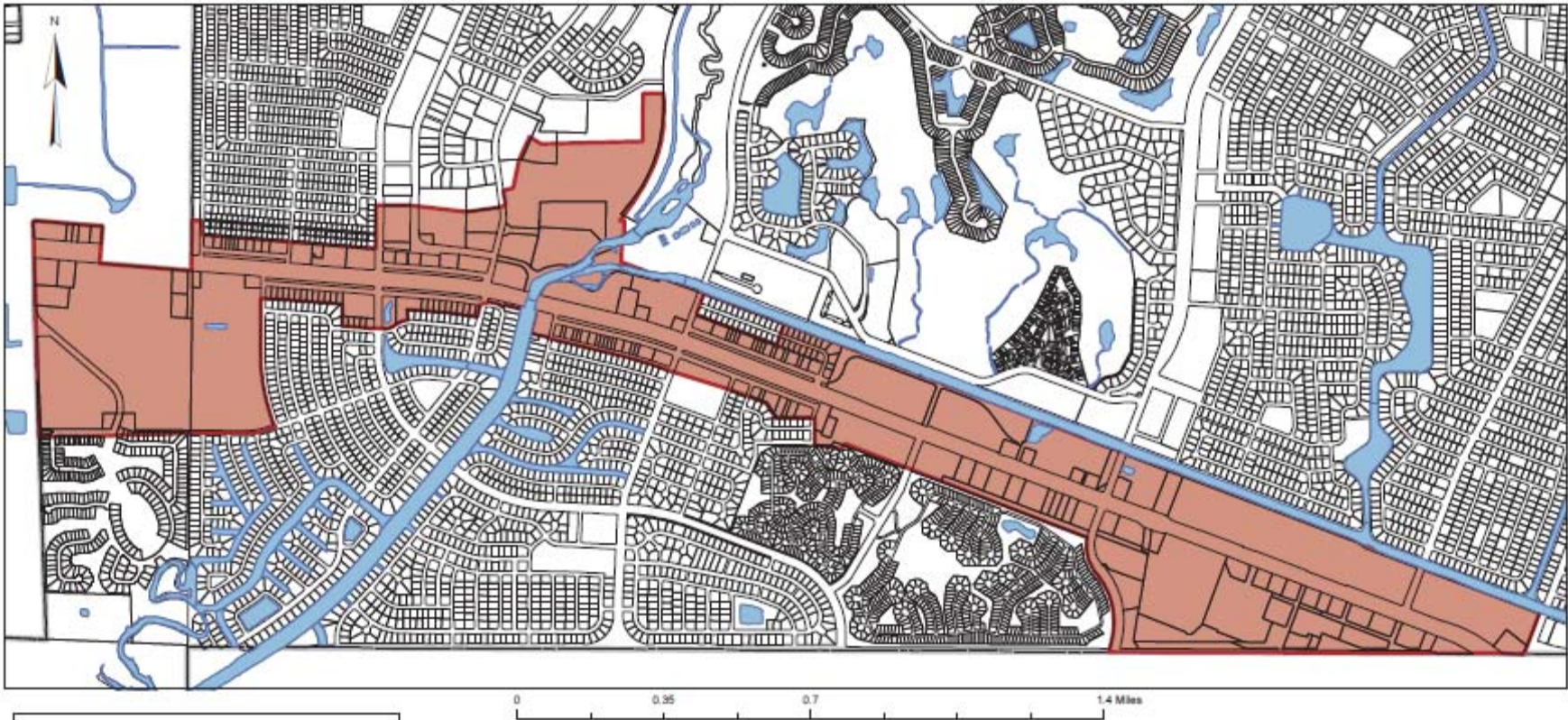
*Terra cotta* Earth colored baked clay products formed into molds and used ornamentally. Also refers to roof tile color.

*Tympanum* The triangular surfaces bounded by the sloping and horizontal cornices of a pediment. Also the space enclosed between the lintel and the arch of a doorway.



*Wall* - The vertical continuous structures which enclose, divide space and/or support floor, roof and other structural elements are the walls of the building.

# Appendix A

## Tamiami Trail Appearance Advisory Board Boundary Map



### Legend

-  Architectural Overlay District Boundary
-  City Boundary

Prepared by:  
City of North Port, Florida  
Planning, Zoning, & Engineering Department

September 2010

Disclaimer: This map is for reference purposes only and is not to be construed as a legal document. Any reliance on the information contained herein is at the user's risk. The City of North Port and its agents assume no responsibility for any use of the information contained herein or any loss resulting therefrom.

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